



Addendum #	1	Date Issued	4-19-2024
Project Name Job #	DSU Woods Hall Improvements - Phase 2		20233600
Bid Date Time	April 24, 2024		2 pm MDT

THIS ADDENDUM AMENDS AND BECOMES PART OF THE CONTRACT DOCUMENTS FOR EAPC PROJECT 20233600 DATED 1-16-2024. EACH BIDDER SHALL ACKNOWLEDGE RECEIPT OF THIS ADDENDUM BY MARKING THE ADDENDUM NUMBER AND DATE ON THE BID FORM.

SPECIFICATIONS

ITEM #1: 07 46 46 Fiber Cement Siding:

Add the following: 2.2.A.1.c. Color 2 to be custom color. Colors 1, 3 & 4 to be standard Illuminations colors. See elevations on sheets A3.0 & A3.1 for locations.

ITEM #2: 09 72 00 Wall Coverings:

Clarification as follows: Stacked Wood Panels are shown on details 3 & 4/A4.2 and 12/A7.1.

DRAWINGS

ITEM #1: SHEET A1.2 - Main Floor Plan: Omit Note #7.

ITEM #2: SHEET A1.2 - Plan Notes:

Add Note #22 as follows: Patch elevator floor opening as required.

ITEM #3: SHEET A1.4 - Second Floor Plan: Omit Note #22.

ITEM #4: SHEET A1.5 - Demolition Notes:

Add Note #31 as follows: Cut new opening in existing clay tile wall to deck.

ITEM #5: SHEET A2.0 - First Floor Room Finish Schedule:

Change existing ceilings to new painted & textured gyp board in Toilets 129, 136, 135 and Showers 122, 137, 154. Epoxy paint in showers. New ceiling height 8'-0".

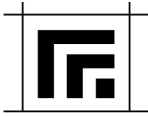
ITEM #6: SHEET 1.8 - Elevator Floor Plans: Replace Sheet with Attached Revised Sheet A1.8. Revised Window & Wall Dimensions as highlighted.

ITEM #7: SHEET A2.1 - Third Floor Room Finish Schedule:

Change existing ceilings to new painted & textured gyp board in Toilets 310, 324, 339, 354, 359 and Showers 311, 323, 340, 353, 360. Epoxy paint in showers. New ceiling height 8'-0"

ITEM #8: SHEET A6.1 - First Floor RCP Plan:

Change existing ceiling shown to be new 7/8" furring channels @ 16" o.c. covered with new 5/8" type x moisture resistant gyp board. New texture and paint. Coordinate with Mechanical for new vents.

**ITEM #9:** SHEET A6.1 - First Floor RCP Plan:

Change existing ceiling shown to be new 7/8" furring channels @ 16" o.c. covered with new 5/8" type x moisture resistant gyp board. New texture and paint. Coordinate with mechanical for new vents.

ITEM #10: SHEET FP1.0 - Basement Fire Protection Plan:

In Recreation Room 32 there are existing sprinkler piping and sprinkler piping mains with valves and associated drains that are hung below the existing structure. It is the intent that all efforts be put forth to raise any piping that can be while adhering to applicable codes and standards since this room will have an open to structure concept with no ceilings making all the fire sprinkler components accessible to the room occupants and potential tampering. The Fire Protection Contractor shall coordinate with the Architect/Engineers if any components cannot be raised.

ITEM #11: SHEET M1.1 – Main Floor Mechanical Demolition

Added keynote for demolition of the existing radiation where the new elevator will be installed.

ITEM #12: SHEET M1.3 – Third Floor Mechanical Demolition

Added keynote for demolition of the existing radiation where the new elevator will be installed.

ITEM #13: SHEET P1.1 – Basement Domestic Piping Plan

- a. All water closets shall be labeled as WC-1 in lieu of some labeled as WC-2.
- b. All mop sinks shall be labeled as MS-1 in lieu of JS-1.
- c. All clothes Washer outlet boxes shall be labeled as OB-1 in lieu of SS-1.
- d. All showers shall be labeled as SH-1 in lieu of some labeled as SH-3.
- e. Added correct verbiage for keynote #20.
- f. Updated keynotes in rooms 127, 135, & 152.

ITEM #14: SHEET P1.3 – Third Floor Domestic Piping Plan

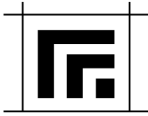
- a. All clothes Washer outlet boxes shall be labeled as OB-1 in lieu of SS-1.
- b. Updated keynotes in rooms 309, 332, 338, & 352.
- c. Corrected sizing and routing of domestic piping serving Rooms 315, 316 & 317.
- d. The electric water cooler in Room 301 shall be EWC-2 in lieu of EWC-1.

ITEM #15: SHEET P6.1 – Domestic Piping Schedules & Details

Changed the wording on the Plumbing Fixture Schedule for WC-1 to indicate 'Yes' in lieu of "No" under the ADA column.

ITEM #16: SHEETS ALL ELECTRICAL – General Drawing Items

- A. Where new circuitry is installed on existing plaster and clay-tile walls, use surface Wiremold raceways per Section 260533.
- B. New circuitry in corridors shall be installed in conduit. Above existing ceilings, MC cabling may be installed from corridor junction boxes for device circuitry in rooms. All exposed circuitry shall be Wiremold per note above.
- C. During construction, existing fire alarm system must remain operational. Provide heat detectors in construction zones to allow for occupant notification of any fire alarms during construction operations.



ADDENDUM 1 *continued*

ITEM #17: SHEET E1.0 – Basement Existing Conditions:

Detail 1/E1.0: Existing inverter is currently installed along north wall and does not need to be relocated for remodel operations. Delete Note 3.

ITEM #18: SHEET E1.3 – Third Floor Existing Conditions:

Detail 1/E1.3 Clarifications:

- a) Existing dorm rooms contain smoke detectors with sounder bases. Where existing rooms remain, existing smoke detectors with sounder bases may be reused. Provide new or relocate existing into revised rooms as indicated on revised plans. All smoke detectors with sounder bases in rooms shall be installed on the ceiling in locations similar to existing, with circuitry concealed above existing ceiling and fed from the open corridor.
- b) Remove all existing fire alarm devices in corridors as required for remodel operations. Existing devices may be reused for new layout. Provide additional devices as required.

ITEM #19: SHEET E3.0 – Basement Power Plan

Detail 1/E3.0: Delete Note 11. Inverter shall remain in place in existing location along north wall.

PRIOR APPROVALS

CONTINGENT UPON MEETING ALL SPECIFICATIONS, THE FOLLOWING ITEMS ARE ACCEPTABLE FOR BIDDING:

<u>SECTION</u>	<u>PRODUCT</u>	<u>APPROVED EQUAL</u>
08 44 13	Glazed Alum. Curtain Walls	Tubelite 400T
10 71 13	Exterior Sun Control Devices	Tubelite 400T Vertical Single Airfoil Blade Sunshade
09 67 23	Resinous Flooring (Must match full range of Dur-a-Flex/Quartz colors at no extra cost.)	Rustoleum Citadel CFFS
235000.2.1	Boiler	Riello Array

ATTACHMENTS

This Addendum includes the following revised and/or new Drawing Sheets:

A1.8, FP1.0, M1.1, M1.3, P1.1, P1.3

R1	ADDENDUM #1	4-19-2024
CD	CONSTRUCTION DOCUMENTS	1-16-2024
MARK	DESCRIPTION	DATE

PROJECT NO: 20233600

DRAWN BY: ST

CHECKED BY: JP ST

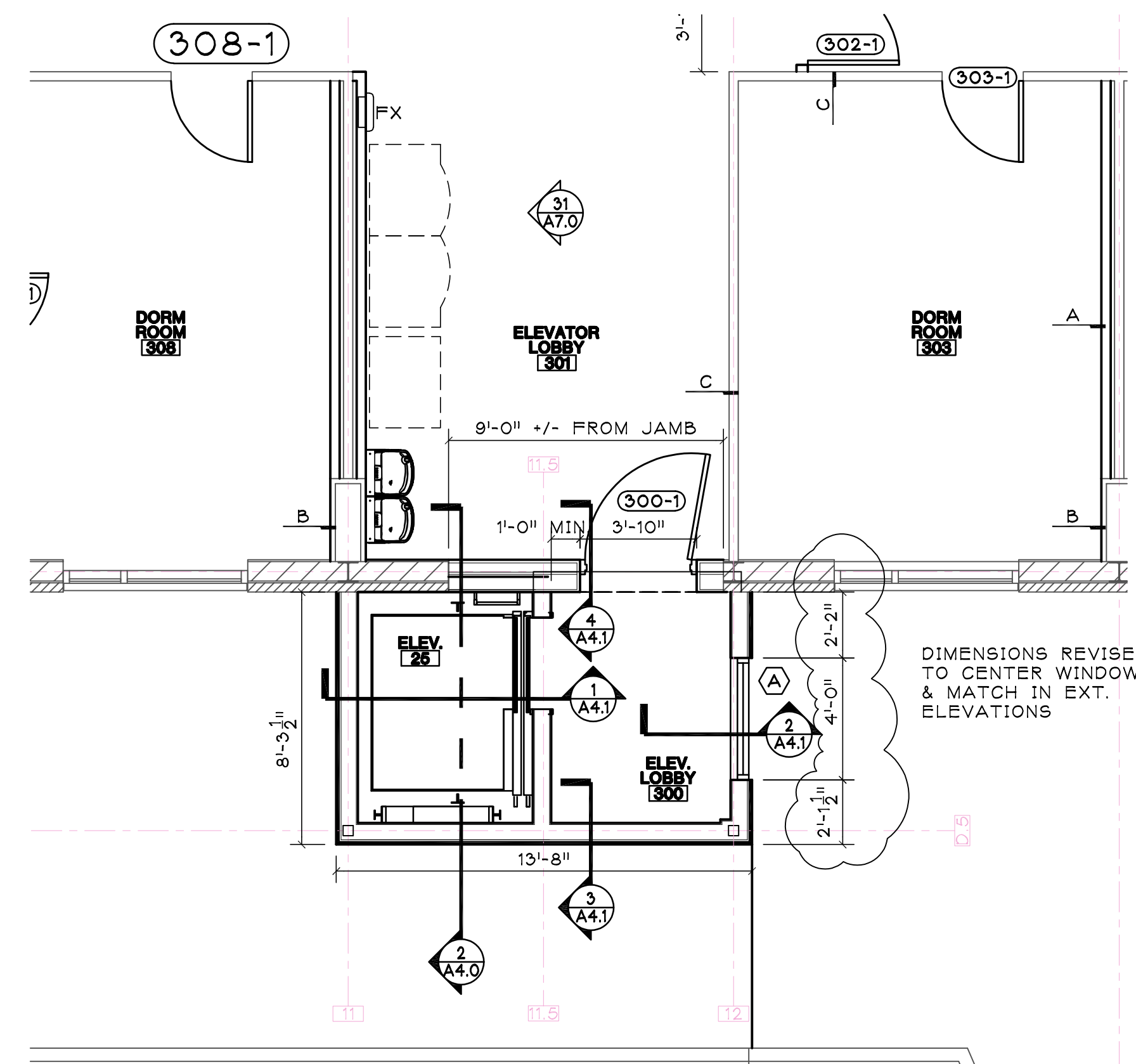
COPYRIGHT:
All plans, specifications, computer files, field data, notes and other documents and instruments prepared by EAPC as instruments of service shall remain the property of EAPC. EAPC shall retain all common law, statutory and other reserved rights, including the copyright therein.

STAMP

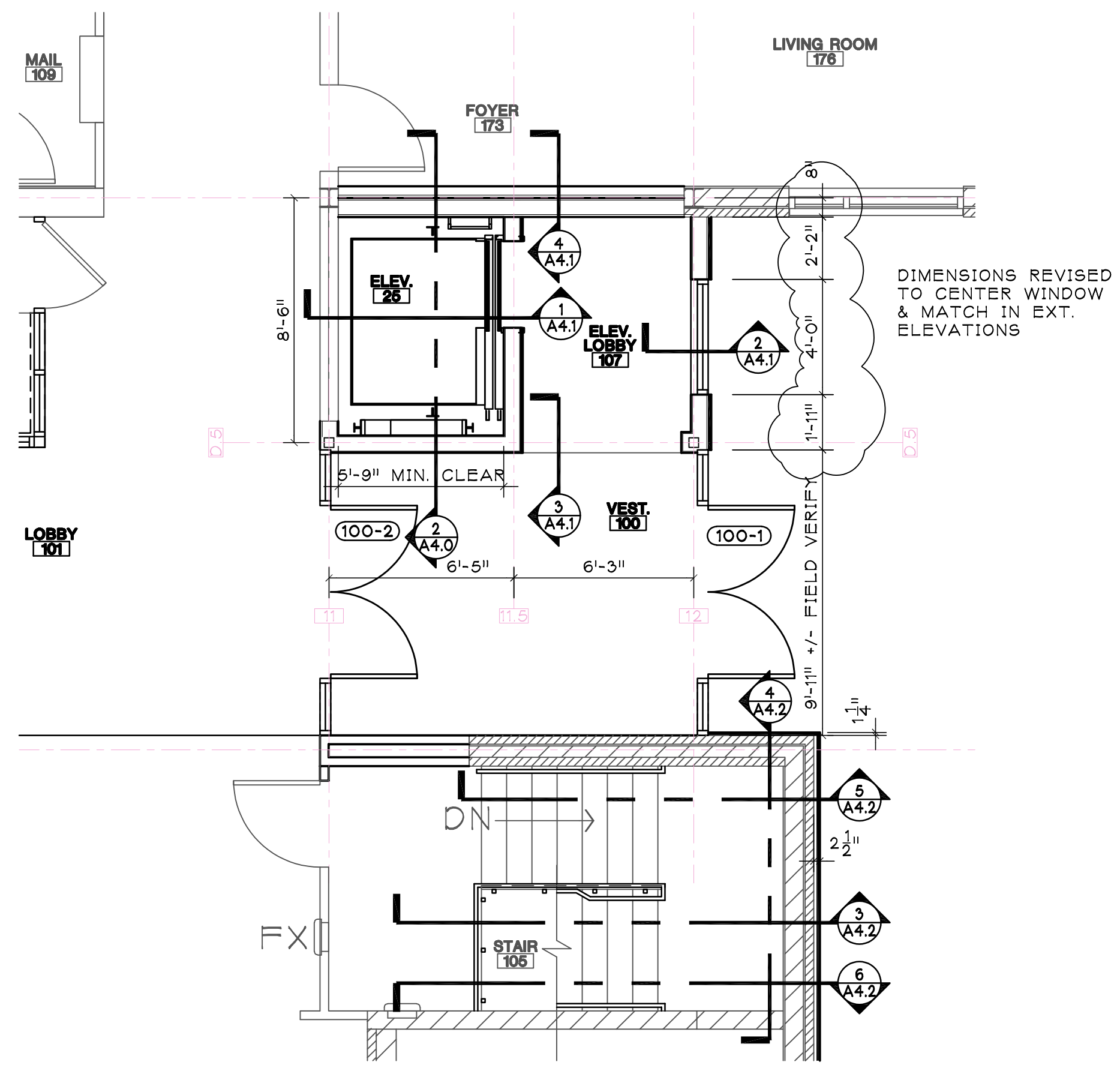
I hereby certify that this plan specification, or report was prepared by me or under my direct supervision, and that I am a duly Registered Architect under the laws of the State of North Dakota.
Sally Thaele
Date: 1/16/24 Ref. No. 1930

DRAWING TITLE
ELEVATOR PLANS

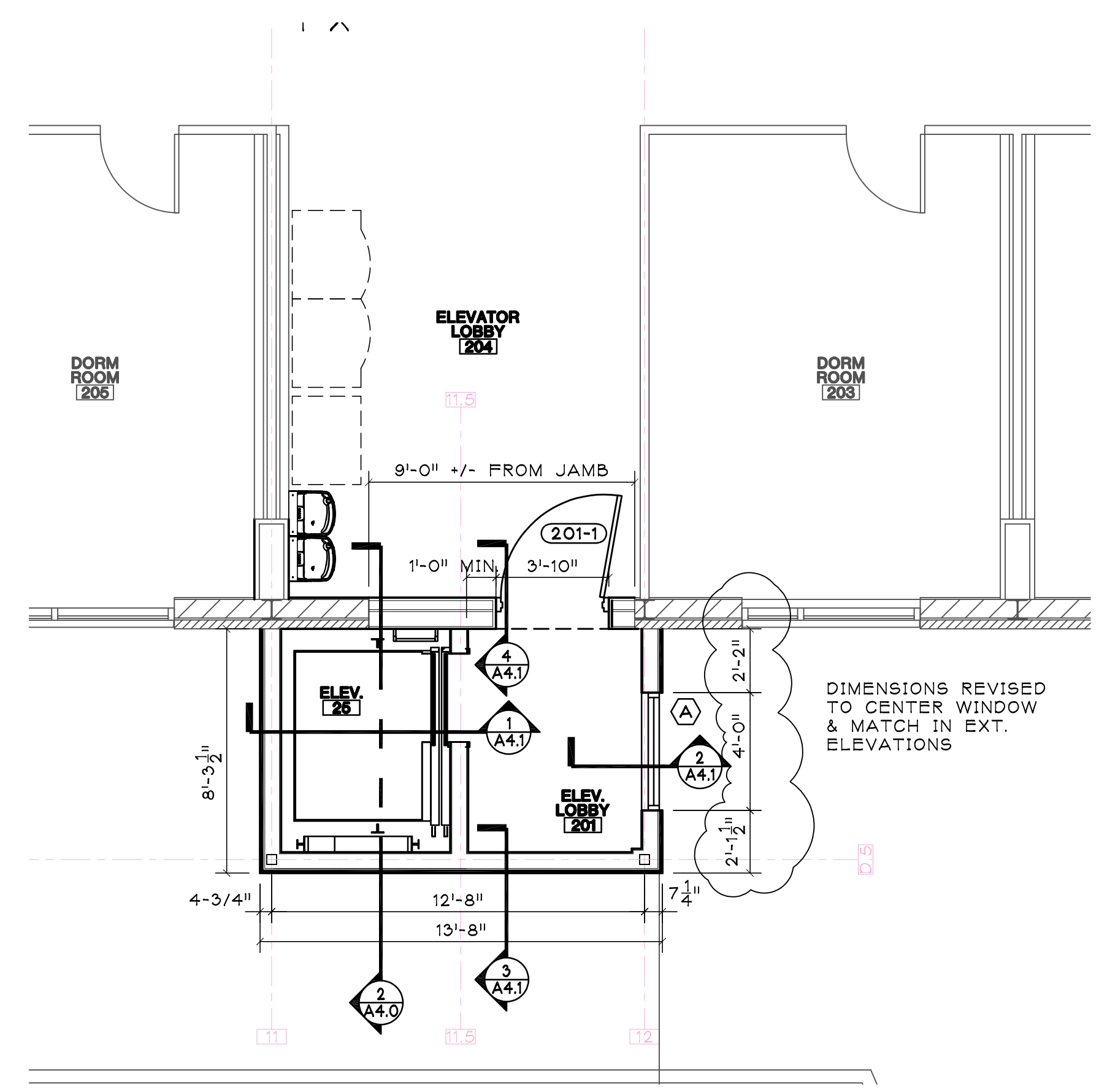
A1.8



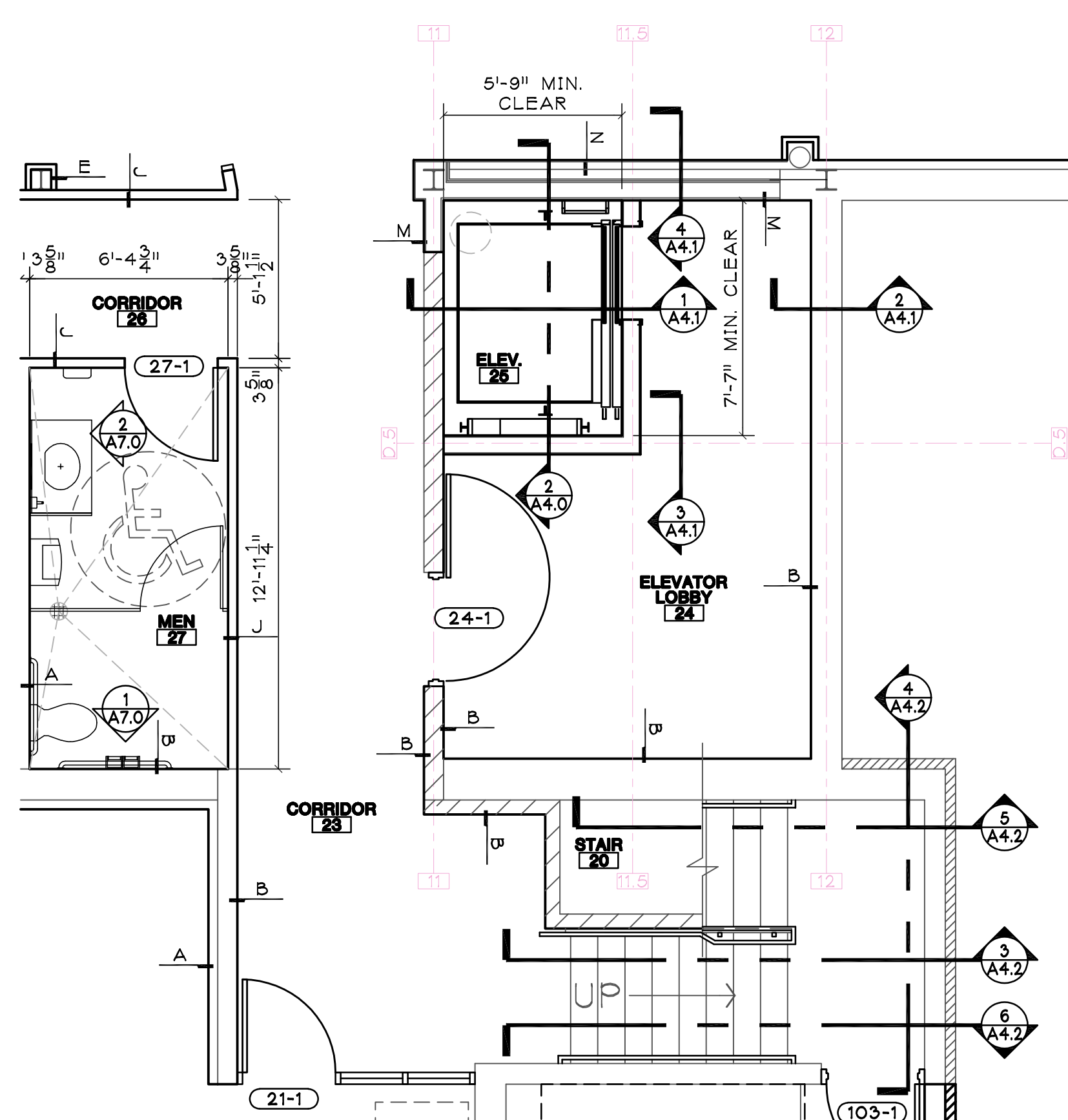
THIRD FLOOR ELEVATOR
SCALE: 1/4" = 1'-0"



MAIN FLOOR ELEVATOR & STAIR
SCALE: 1/4" = 1'-0"



SECOND FLOOR ELEVATOR
SCALE: 1/4" = 1'-0"



BASEMENT ELEVATOR & STAIR
SCALE: 1/4" = 1'-0"

MARK	DESCRIPTION	DATE
R1	ADDENDUM #1	04/19/2024
CD	CONSTRUCTION DOCUMENTS	01/16/2024

PROJECT NO: **20233600**

DRAWN BY: **MJF**

CHECKED BY: **BAW**

COPYRIGHT:
 All plans, specifications, computer files, field data, notes and other documents and instruments prepared by EAPC, EAPC as instruments of service shall remain the property of EAPC. EAPC shall retain all common law, statutory and other reserved rights, including the copyright therein.

STAMP

DRAWING TITLE

BASEMENT FIRE PROTECTION PLAN

FP1.0

KEYNOTES

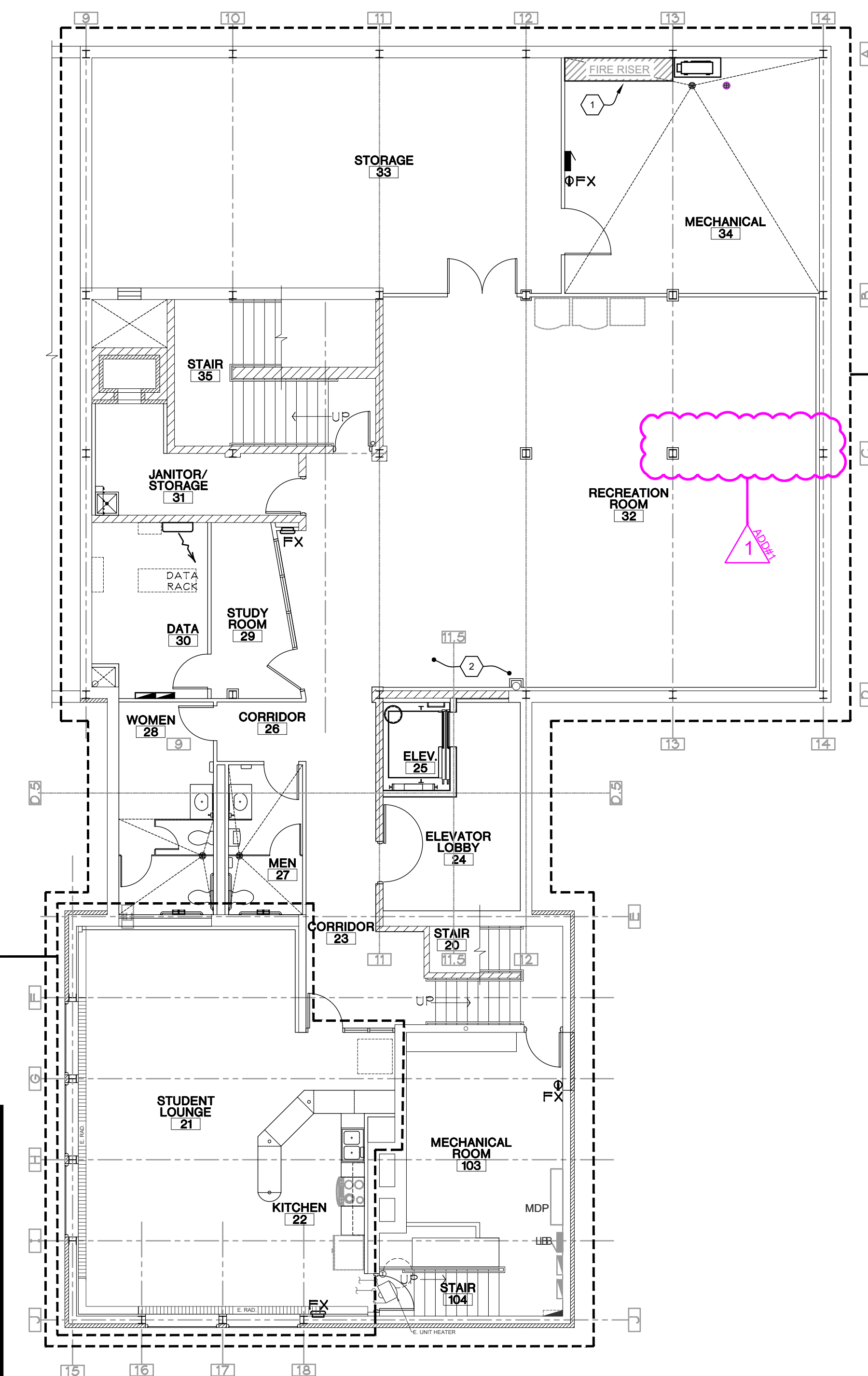
- LOCATION OF THE EXISTING FIRE SPRINKLER RISER. SEE DETAIL OF THE EXISTING RISER. FPC SHALL MAKE ANY CHANGES TO THE RISER IF REQUIRED OR DEEMED NECESSARY.
- PROVIDE FIRE SPRINKLER PIPING WITH A FLOW AND TAMPER SWITCH IN THIS AREA FOR THE NEW ELEVATOR BEING CONSTRUCTED AND PROVIDED UNDER PHASE II. COORDINATE THE ELECTRICAL CONNECTIONS WITH THE E.C.
- IN RECREATION ROOM 32 THERE ARE EXISTING SPRINKLER PIPING AND SPRINKLER PIPING MAINS WITH VALVES AND ASSOCIATED DRAINS THAT ARE HUNG BELOW THE EXISTING STRUCTURE. IT IS THE INTENT THAT ALL EFFORTS BE PUT FORTH TO RAISE ANY PIPING THAT CAN BE WHILE ADHERING TO APPLICABLE CODES AND STANDARDS SINCE THIS ROOM WILL HAVE AN OPEN TO STRUCTURE CONCEPT WITH NO CEILINGS MAKING ALL THE FIRE SPRINKLER COMPONENTS ACCESSIBLE TO THE ROOM OCCUPANTS AND POTENTIAL TAMPERING. THE FIRE PROTECTION CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT/ENGINEERS IF ANY COMPONENTS CANNOT BE RAISED.

THE FIRE PROTECTION CONTRACTOR SHALL PROVIDE A COMPLETE FIRE PROTECTION SYSTEM IN ACCORDANCE WITH NFPA 13 AND SPECIFICATION SECTION 210500 IN THIS AREA UNDER PHASE II OF THIS PROJECT. UTILIZE THE PIPING MAINS TO THE GREATEST EXTENT POSSIBLE ROUTED UNDER PHASE I OF THE PROJECT COMPLETED PREVIOUSLY. MODIFY THE EXISTING PIPING SYSTEM AS REQUIRED TO ACCOMMODATE THE NEW FLOOR PLANS AND CEILING HEIGHTS AS REQUIRED. REFER TO THE ARCHITECTURAL CEILING PLANS FOR CORRECT CEILING TYPES AND HEIGHTS AND ADJUST PIPING AS REQUIRED. COORDINATE ANY SHUTDOWN OF THE ACTIVE SYSTEM ON THE OCCUPIED FLOORS WITH THE OWNER AND THEIR REPRESENTATIVE. SHUTDOWN OF THE SYSTEM MAY NEED TO OCCUR AT TIMES WHEN THE DORMS ARE UNOCCUPIED OR WHEN ITS PREFERRED BY THE OWNER OR ITS REPRESENTATIVE. ALLOWANCES IN THE BID SHALL BE REPRESENTATIVE OF ALL ITEMS NOTED.

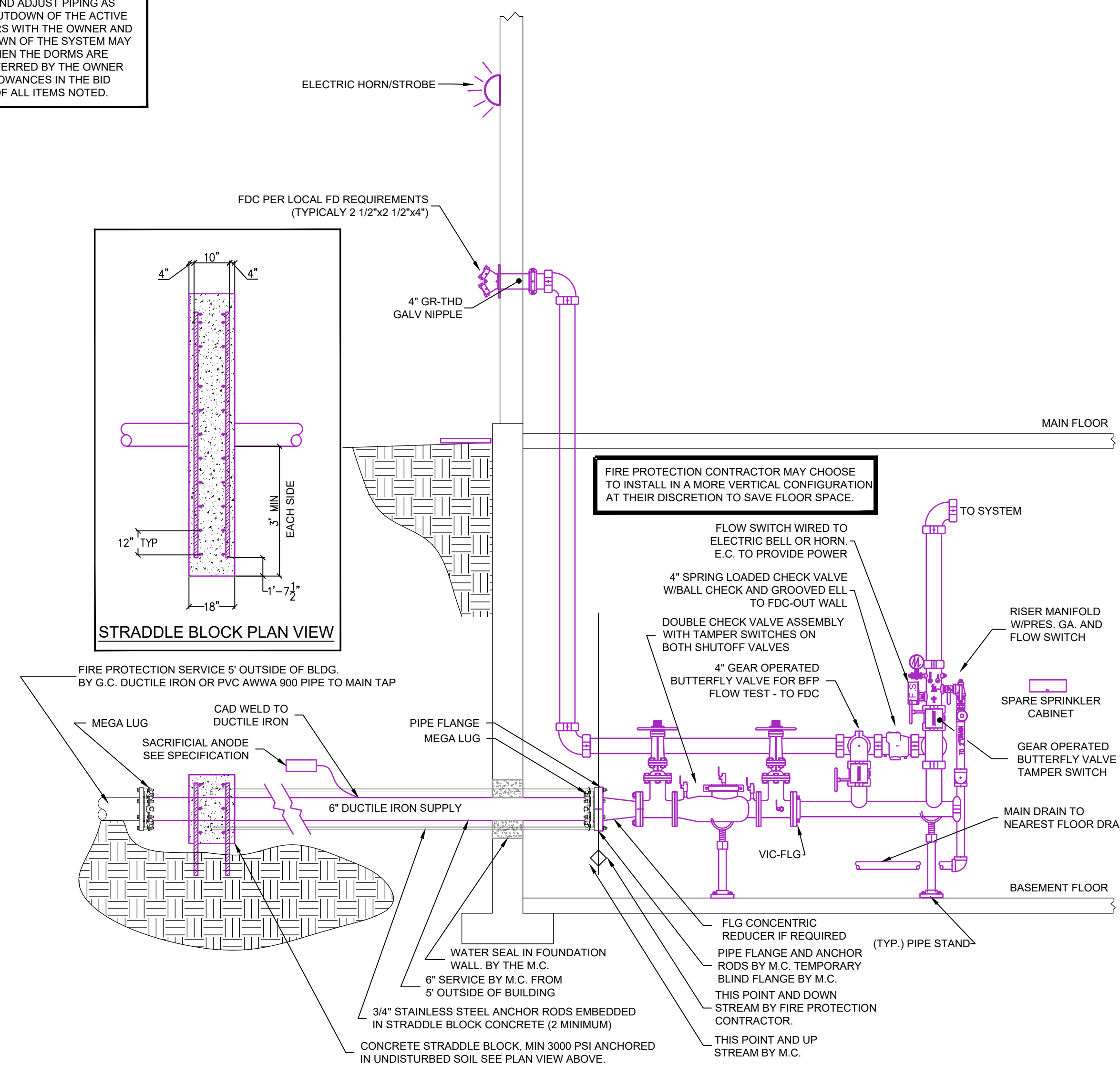
THE EXISTING SPRINKLER PIPING CURRENTLY ROUTED IN THE STUDENT LOUNGE AREA WILL NEED TO BE RAISED TO GET UP INTO THE JOIST SPACE TO ALLOW FOR THE NEW CEILING TO BE INSTALLED IN THIS AREA. THE FIRE PROTECTION CONTRACTOR SHALL INCLUDE ALL WORK REQUIRED TO ACCOMPLISH THIS IN THEIR BID TO MEETING THE CEILING HEIGHTS INTENDED BY THE ARCHITECT.

GENERAL NOTES

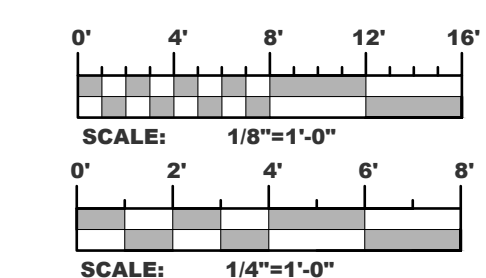
- FIELD VERIFY ALL PERTINENT EXISTING CONDITIONS (ELECTRICAL, STRUCTURAL, PIPING, DUCTWORK) AND INSTALLATION REQUIREMENTS IN CONNECTION WITH REMODEL. MAKE ALLOWANCES IN BID THERETO.
- OFFSET PIPING WHERE REQUIRED TO ALLOW CLEARANCE OF DUCTS, ELECTRICAL CONDUIT AND OUTLET BOXES, BEAMS, ETC. TO AVOID INTERFERENCE WITH WORK OF OTHER TRADES. TO INCREASE HEAD ROOM UNDER PIPES OR TO IMPROVE THE APPEARANCE OF PIPE WORK, THIS CONTRACTOR SHALL OFFSET ANY PIPING AS DIRECTED BY THE ARCHITECT/ENGINEER AND SHALL PROPERLY DRAIN OR VENT SAME WHERE NECESSARY. MAKE ALLOWANCES IN BID THERETO.
- THIS CONTRACTOR SHALL FIELD VERIFY LOCATIONS FOR ALL DUCTWORK AND PIPING FOR INSTALLATION PRIOR TO FABRICATION.
- THIS CONTRACTOR SHALL COORDINATE HIS WORK WITH THE OTHER CONTRACTORS ON THE PROJECT AND INSTALL MECHANICAL SYSTEMS IN A MANNER WHICH WILL CONFORM TO STRUCTURE, KEEP PASSAGEWAYS AND OPENINGS CLEAR. PRESERVE HEAD ROOM, CLEAR LIGHTING FIXTURES AND NOT COVER UP JUNCTION BOXES. THIS CONTRACTOR SHALL MAKE OFFSETS IN PIPING OR DUCTWORK TO AVOID INTERFERENCE WITH OTHER TRADES. AT NO ADDITIONAL COST TO THE OWNER, WHEN SO DIRECTED BY THE ARCHITECT/ENGINEER.
- WHERE PIPING IS CONNECTED TO EQUIPMENT OR PLUMBING FIXTURES THAT ARE BEING REMOVED, THE PIPING SHALL BE REMOVED COMPLETELY (UNLESS NOTED OTHERWISE) FROM THE REMODELED SPACE AND CAPPED AT OR NEAR THE MAINS. PLUMBING PIPING THAT IS LOCATED IN A WALL TO BE REMOVED, SHALL BE REMOVED (IF NOT ACTIVE) AND CAPPED AT THE MAIN LINE OR OUT OF THE REMODELED SPACE.



BASEMENT FIRE PROTECTION PLAN
 1/8" = 1'-0"
 NORTH



IN-SERVICE EXISTING FIRE SPRINKLER RISER DETAIL
 NTS
 2



R1	ADDENDUM #1	04/19/2024
CD	CONSTRUCTION DOCUMENTS	01/16/2024
MARK	DESCRIPTION	DATE

PROJECT NO: 20233600

DRAWN BY: MJF

CHECKED BY: BAW

COPYRIGHT:
 All plans, specifications, computer files, field data, notes and other documents and instruments prepared by EAPC, EAPC shall retain all common law, statutory and other reserved rights, including the copyright thereto.

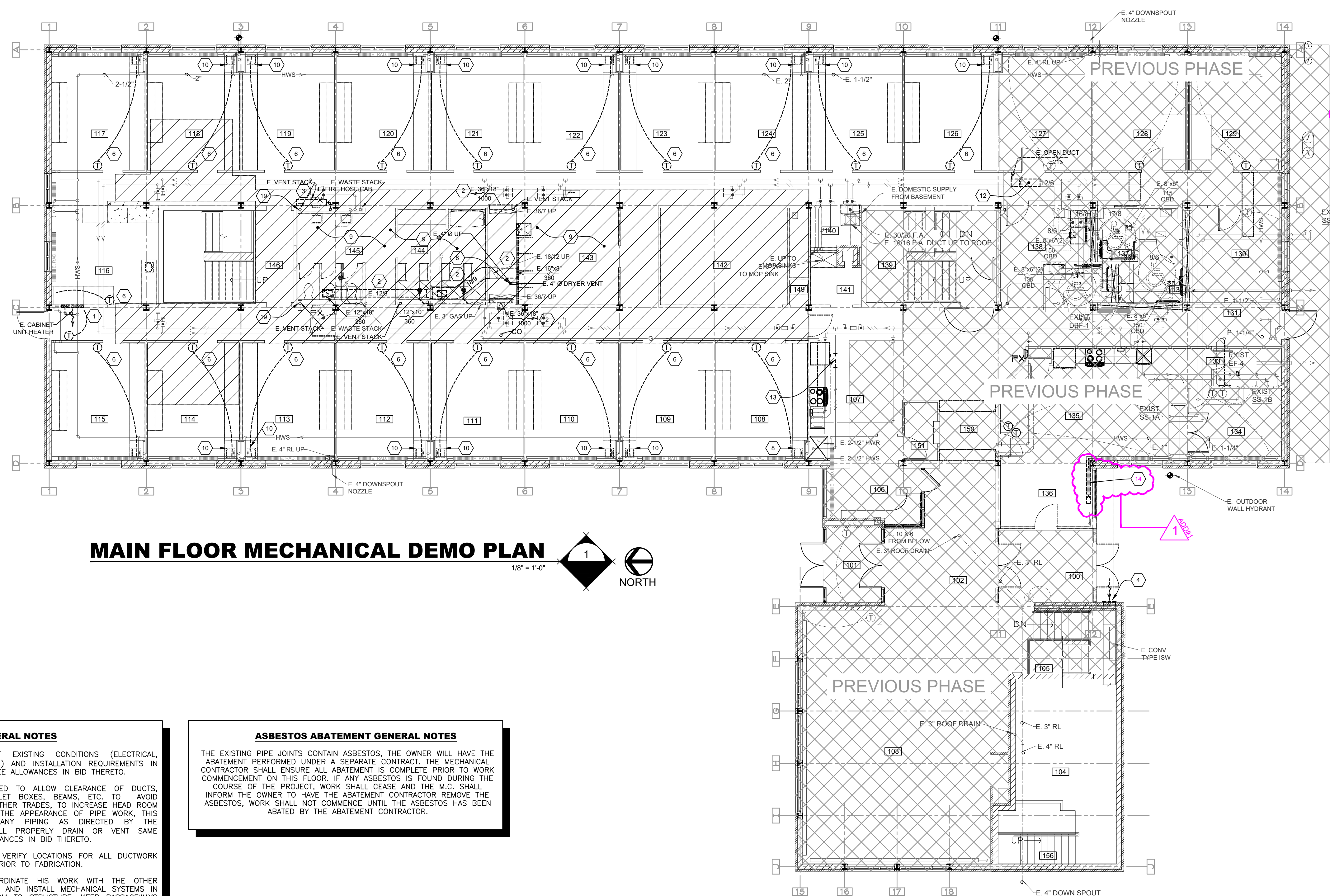
STAMP

DRAWING TITLE

MAIN FLOOR MECHANICAL DEMOLITION PLAN

M1.1

- KEYNOTES**
- REMOVE THE EXISTING CABINET UNIT HEATER AND ASSOCIATED CONTROLS COMPLETE, CAP PIPING BACK AT THE MAINS.
 - REMOVE EXISTING HORIZONTAL DUCT COMPLETE, CAP BOTTOM OF VERTICAL E.A. DUCT IN JOIST SPACE.
 - REMOVE THE EXISTING FIRE HOSE CABINET COMPLETE, REMOVE EXISTING PIPING COMPLETE OR ABANDON IN PLACE IF INACCESSIBLE FOR REMOVAL.
 - REMOVE THE EXISTING LOUVER FOR REPLACEMENT WITH A NEW LOUVER IN CONJUNCTION WITH EXTERIOR WORK BEING COMPLETE BY THE G.C. COORDINATE REMOVAL AND REPLACEMENT WITH THE G.C.
 - REMOVE THE EXISTING PNEUMATIC THERMOSTAT AND ASSOCIATED CONTROL VALVE FOR REPLACEMENT WITH NEW DDC CONTROL VALVE AND THERMOSTAT.
 - REMOVE EXISTING DRYER DUCT FOR REPLACEMENT WITH NEW DUCTWORK.
 - REMOVE ALL EXISTING PLUMBING FIXTURES COMPLETE IN THIS AREA IN ASSOCIATION WITH THE WALL REMOVALS TO ACCOMMODATE THE NEW REMODELED SPACES. CUT EXISTING PLUMBING BELOW THE SECOND FLOOR FOR RECONNECTION TO THE UPDATED PLUMBING SYSTEM UNDER THE REMODEL WORK. ALLOW THE OWNER FIRST REFUSAL OF ANY FIXTURES.
 - REMOVE THIS EXISTING FIXTURE COMPLETE, CAP ALL PIPING WITH-IN THE CONFINES OF THE EXISTING WALL. COORDINATE THE WALL OPENING AND PATCHING WITH THE G.C.
 - REMOVE THE EXISTING PLUMBING VT STACK FOR REPLACEMENT WITH A NEW LARGER VT STACK.
 - CUT BACK THIS EXISTING DUCT AS REQUIRED FOR THE FRESH AIR SUPPLY BEING INSTALLED, AND THE NEW CONNECTION TO EXHAUST DUCT TO SERVE THE NEW SUITE BATHROOMS.
 - REMOVE EXISTING HOT WATER RECIRC PIPING AS REQUIRED TO INSTALL A NEW CONNECTION.
 - UNDER PHASE II REMOVE THE EXISTING RADIATION AT THIS LOCATION FOR ADDITION OF THE ELEVATOR.



MAIN FLOOR MECHANICAL DEMO PLAN
 1/8" = 1'-0" NORTH

GENERAL NOTES

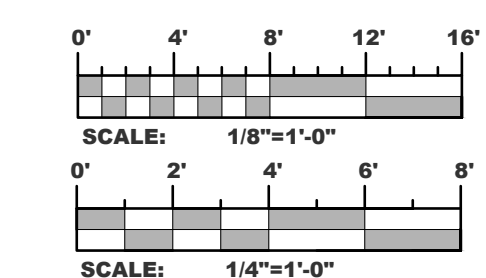
- FIELD VERIFY ALL PERTINENT EXISTING CONDITIONS (ELECTRICAL, STRUCTURAL, PIPING, DUCTWORK) AND INSTALLATION REQUIREMENTS IN CONNECTION WITH REMODEL. MAKE ALLOWANCES IN BID THERETO.
- OFFSET PIPING WHERE REQUIRED TO ALLOW CLEARANCE OF DUCTS, ELECTRICAL CONDUIT AND OUTLET BOXES, BEAMS, ETC. TO AVOID INTERFERENCE WITH WORK OF OTHER TRADES. TO INCREASE HEAD ROOM UNDER PIPES OR TO IMPROVE THE APPEARANCE OF PIPE WORK, THIS CONTRACTOR SHALL OFFSET ANY PIPING AS DIRECTED BY THE ARCHITECT/ENGINEER AND SHALL PROPERLY DRAIN OR VENT SAME WHERE NECESSARY. MAKE ALLOWANCES IN BID THERETO.
- THIS CONTRACTOR SHALL FIELD VERIFY LOCATIONS FOR ALL DUCTWORK AND PIPING FOR INSTALLATION PRIOR TO FABRICATION.
- THIS CONTRACTOR SHALL COORDINATE HIS WORK WITH THE OTHER CONTRACTORS ON THE PROJECT AND INSTALL MECHANICAL SYSTEMS IN A MANNER WHICH WILL CONFORM TO STRUCTURE, KEEP PASSAGEWAYS AND OPENINGS CLEAR. PRESERVE HEAD ROOM, CLEAR LIGHTING FIXTURES AND NOT COVER UP JUNCTION BOXES. THIS CONTRACTOR SHALL MAKE OFFSETS IN PIPING OR DUCTWORK TO AVOID INTERFERENCE WITH OTHER TRADES. AT NO ADDITIONAL COST TO THE OWNER, WHEN SO DIRECTED BY THE ARCHITECT/ENGINEER.
- WHERE PIPING IS CONNECTED TO EQUIPMENT OR PLUMBING FIXTURES THAT ARE BEING REMOVED, THE PIPING SHALL BE REMOVED COMPLETELY (UNLESS NOTED OTHERWISE) FROM THE REMODELED SPACE AND CAPPED AT OR NEAR THE MAINS. PLUMBING PIPING THAT IS LOCATED IN A WALL TO BE REMOVED, SHALL BE REMOVED (IF NOT ACTIVE) AND CAPPED AT THE MAIN LINE OR OUT OF THE REMODELED SPACE.

ASBESTOS ABATEMENT GENERAL NOTES

THE EXISTING PIPE JOINTS CONTAIN ASBESTOS, THE OWNER WILL HAVE THE ABATEMENT PERFORMED UNDER A SEPARATE CONTRACT. THE MECHANICAL CONTRACTOR SHALL ENSURE ALL ABATEMENT IS COMPLETE PRIOR TO WORK COMMENCEMENT ON THIS FLOOR. IF ANY ASBESTOS IS FOUND DURING THE COURSE OF THE PROJECT, WORK SHALL CEASE AND THE M.C. SHALL INFORM THE OWNER TO HAVE THE ABATEMENT CONTRACTOR REMOVE THE ASBESTOS, WORK SHALL NOT COMMENCE UNTIL THE ASBESTOS HAS BEEN ABATED BY THE ABATEMENT CONTRACTOR.

DEMO. ROOM SCHEDULE

#	ROOM DESCRIPTION	ROOM DESCRIPTION	#
100	VESTIBULE	DORM ROOM	127
101	VESTIBULE	DORM ROOM	128
102	FOYER	DORM ROOM	129
103	LOUNGE	SINGLE ROOM	130
104	HEATING	GUEST ROOM	131
105	STAIR	BATH	132
106	OFFICE	BATH	133
107	STORAGE	BEDROOM	134
108	DORM ROOM	LIVING & DINING	135
109	DORM ROOM	KITCHEN	136
110	DORM ROOM	BATHING	137
111	DORM ROOM	TOILET	138
112	DORM ROOM	STAIR	139
113	DORM ROOM	LINEN	140
114	DORM ROOM	JANITOR	141
115	DORM ROOM	STORAGE	142
116	DORM ROOM	UTILITY	143
117	DORM ROOM	BATHING	144
118	DORM ROOM	TOILET	145
119	DORM ROOM	STAIR	146
120	DORM ROOM	CORRIDOR	147
121	DORM ROOM	CORRIDOR	148
122	DORM ROOM	PHONE	149
123	DORM ROOM	HALL	150
124	DORM ROOM	MAIL ROOM	151
125	DORM ROOM	STAIR	156
126	DORM ROOM		



RT	ADDENDUM #1	04/19/2024
CD	CONSTRUCTION DOCUMENTS	01/16/2024
MARK	DESCRIPTION	DATE

PROJECT NO: 20233600

DRAWN BY: MJF

CHECKED BY: BAW

COPYRIGHT:
 All plans, specifications, computer files, field data, notes and other documents and instruments prepared by EAPC, EAPC shall retain all common law, statutory and other reserved rights, including the copyright therein.

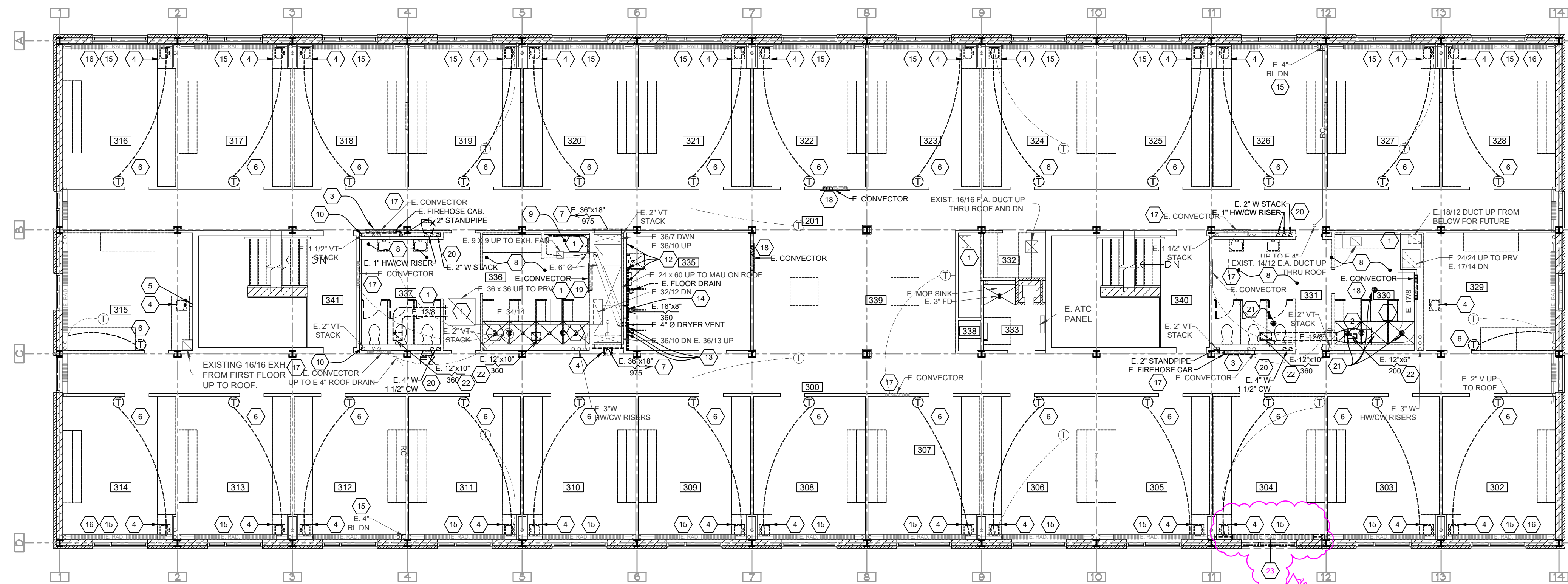
STAMP

DRAWING TITLE

THIRD FLOOR MECHANICAL DEMOLITION PLAN

M1.3

- KEYNOTES**
- THIS CONTRACTOR SHALL SEAL ALL THE EXISTING ACCESSIBLE DUCT WITH NEW SEALANT AS LAID OUT IN THE SPECIFICATION TO THE BEST EXTENT POSSIBLE.
 - REMOVE THE EXISTING FLOOR DRAIN/SHOWER DRAIN COMPLETE. COORDINATE WITH THE G.C. FOR ANY CEILING REMOVAL REQUIRED ON THE FLOOR BELOW. TAKE WASTE PIPING BACK TO THE MAIN AND CAP. VERIFY THE ACTUAL # OF EXISTING DRAINS AND REMOVE THEM ALL.
 - REMOVE THE EXISTING FIRE HOSE CABINET COMPLETE. REMOVE EXISTING PIPING COMPLETE OR ABANDON IN PLACE IF INACCESSIBLE FOR REMOVAL.
 - REMOVE THIS EXISTING PLUMBING FIXTURE COMPLETE. CAP ALL PIPING WITH-IN THE CONFINES OF THE EXISTING WALL. COORDINATE THE WALL OPENING AND PATCHING WITH THE G.C. ALLOW OWNER FIRST REFUSAL OF FIXTURE.
 - REMOVE THE EXISTING PLUMBING VENT THRU THE ROOF COMPLETE COORDINATE ROOF PATCHING AND REPAIR WITH THE G.C.
 - REMOVE THE EXISTING PNEUMATIC THERMOSTAT AND ASSOCIATED CONTROL VALVE FOR REPLACEMENT WITH NEW DDC CONTROL VALVE AND THERMOSTAT.
 - REMOVE THE EXISTING GRILLE FOR REPLACEMENT WITH A NEW GRILLE.
 - REMOVE THE EXISTING PLUMBING FIXTURES IN THIS SPACE COMPLETE TAKE THE EXISTING PIPING BACK TO THE MAINS AND CAP.
 - REMOVE THE EXISTING BATH TUB COMPLETE. THERE ARE NO PLANS FOR A NEW TUB TO BE INSTALLED, TAKE ALL PIPING BACK TO THE MAINS AND CAP.
 - REMOVE THE EXISTING PLUMBING VT STACK FOR REPLACEMENT WITH A NEW LARGER VT STACK.
 - NOTE NOT USED.
 - REMOVE THE EXISTING (3) CLOTHES WASHING MACHINE SPACE SAVERS COMPLETE. MAINTAIN THE EXISTING PIPING TAPS FOR CONNECTION TO NEW SPACE SAVERS INSTALLATION IN A NEW LOCATION. SEE THE NEW PIPING PLAN FOR ADDITIONAL INFORMATION.
 - REMOVE THE EXISTING (3) DRYER VENT DUCTING AT THIS LOCATION BACK TO THE MAINS FOR REPLACEMENT WITH NEW DUCT TO NEW DRYER VENT WALL BOXES. SEE THE NEW HVAC PLAN FOR ADDITIONAL INFORMATION.
 - REMOVE THE EXISTING EXHAUST GRILLE TO EXTEND DUCT TO NEW WALL. DISPOSE OF EXISTING GRILLE FOR REPLACEMENT WITH A NEW GRILLE.
 - REMOVE ALL THE RADIATION COVERS TAKING CARE SO THEY CAN BE REINSTALLED AND TURN OVER TO THE G.C. FOR PAINTING. LABEL ALL THE COVERS SO THEY GO BACK IN THE SAME ROOMS IN THE SAME ORDER AS ORIGINALLY INSTALLED. CLEAN ALL THE FIN TUBE RADIATION AND REMOVE ALL DUST AND COBWEBS COMPLETE.
 - AFTER REMOVAL OF THE EXISTING RADIATION COVER AT THIS LOCATION, THIS CONTRACTOR SHALL TAKE A PIECE OF SHEET METAL OF THE SAME GAUGE AS THE RADIATION COVER AND WELD IT TO THE INSIDE OF THE COVER TO REPAIR THE NOTCH THAT WAS CUT OUT OF THE RADIATION AT SOME POINT TO ACCEPT THE LOWERED CASEWORK. TURN THE RADIATION OVER TO THE G.C. FOR PAINTING AFTER REPAIRS HAVE BEEN MADE.
 - REMOVE ALL THE CONVECTOR COVERS TAKING CARE SO THEY CAN BE REINSTALLED REMOVE THE EXISTING DAMPER AND ASSOCIATED OPERATOR AND TURN OVER TO THE G.C. FOR PAINTING. LABEL ALL THE COVERS SO THEY GO BACK IN THE SAME ROOMS IN THE SAME ORDER AS ORIGINALLY INSTALLED. CLEAN ALL THE FIN TUBE RADIATION AND REMOVE ALL DUST AND COBWEBS COMPLETE. REMOVE THE EXISTING ASSOCIATED SHUTOFF VALVES AND BALANCING VALVE FOR REPLACEMENT WITH NEW VALVES AND REMOVE PIPING AS REQUIRED TO INSTALL A CONTROL VALVE.
 - REMOVE THIS EXISTING CONVECTOR COMPLETE. EXISTING HEATING WATER SUPPLY SHALL BE MAINTAINED FOR EXTENSION TO SERVE NEW RADIANT CEILING PANELS. SEE THE SYSTEMS PIPING PLAN FOR ADDITIONAL INFORMATION.
 - REMOVE THIS EXISTING CONVECTOR COMPLETE. TAKE BRACH PIPING BACK TO THE MAINS AND CAP.
 - REMOVE THE EXISTING DOMESTIC WATER/WASTE/PLUMBING VENT RISER/STACK THAT SERVED THIRD FLOOR BACK DOWN TO THE CEILING SPACE OF SECOND FLOOR AND CAP.
 - REMOVE THE EXISTING FLOOR DRAINS INSTALLED UNDER A PREVIOUS PROJECT IN THEIR ENTIRETY. CAP PIPING BACK AT THE MAINS.
 - REMOVE THE EXISTING GRILLE AND ASSOCIATED DUCT BACK TO THE DUCT MAIN AND CAP.
 - UNDER PHASE II REMOVE THE EXISTING RADIATION AT THIS LOCATION FOR ADDITION OF THE ELEVATOR.



THIRD FLOOR MECHANICAL DEMO PLAN
 1/8" = 1'-0" NORTH

GENERAL NOTES

- FIELD VERIFY ALL PERTINENT EXISTING CONDITIONS (ELECTRICAL, STRUCTURAL, PIPING, DUCTWORK) AND INSTALLATION REQUIREMENTS IN CONNECTION WITH REMODEL. MAKE ALLOWANCES IN BID THERETO.
- OFFSET PIPING WHERE REQUIRED TO ALLOW CLEARANCE OF DUCTS, ELECTRICAL CONDUIT AND OUTLET BOXES, BEAMS, ETC. TO AVOID INTERFERENCE WITH WORK OF OTHER TRADES. TO INCREASE HEAD ROOM UNDER PIPES OR TO IMPROVE THE APPEARANCE OF PIPE WORK, THIS CONTRACTOR SHALL OFFSET ANY PIPING AS DIRECTED BY THE ARCHITECT/ENGINEER AND SHALL PROPERLY DRAIN OR VENT SAME WHERE NECESSARY. MAKE ALLOWANCES IN BID THERETO.
- THIS CONTRACTOR SHALL FIELD VERIFY LOCATIONS FOR ALL DUCTWORK AND PIPING FOR INSTALLATION PRIOR TO FABRICATION.
- THIS CONTRACTOR SHALL COORDINATE HIS WORK WITH THE OTHER CONTRACTORS ON THE PROJECT AND INSTALL MECHANICAL SYSTEMS IN A MANNER WHICH WILL CONFORM TO STRUCTURE. KEEP PASSAGEWAYS AND OPENINGS CLEAR. PRESERVE HEAD ROOM. CLEAR LIGHTING FIXTURES AND NOT COVER UP JUNCTION BOXES. THIS CONTRACTOR SHALL MAKE OFFSETS IN PIPING OR DUCTWORK TO AVOID INTERFERENCE WITH OTHER TRADES. AT NO ADDITIONAL COST TO THE OWNER, WHEN SO DIRECTED BY THE ARCHITECT/ENGINEER.
- WHERE PIPING IS CONNECTED TO EQUIPMENT OR PLUMBING FIXTURES THAT ARE BEING REMOVED, THE PIPING SHALL BE REMOVED COMPLETELY (UNLESS NOTED OTHERWISE) FROM THE REMODELED SPACE AND CAPPED AT OR NEAR THE MAINS. PLUMBING PIPING THAT IS LOCATED IN A WALL TO BE REMOVED, SHALL BE REMOVED (IF NOT ACTIVE) AND CAPPED AT THE MAIN LINE OR OUT OF THE REMODELED SPACE.

ASBESTOS ABATEMENT GENERAL NOTES

THE EXISTING PIPE JOINTS CONTAIN ASBESTOS. THE OWNER WILL HAVE THE ABATEMENT PERFORMED UNDER A SEPARATE CONTRACT. THE MECHANICAL CONTRACTOR SHALL ENSURE ALL ABATEMENT IS COMPLETE PRIOR TO WORK COMMENCEMENT ON THIS FLOOR. IF ANY ASBESTOS IS FOUND DURING THE COURSE OF THE PROJECT, WORK SHALL CEASE AND THE M.C. SHALL INFORM THE OWNER TO HAVE THE ABATEMENT CONTRACTOR REMOVE THE ASBESTOS. WORK SHALL NOT COMMENCE UNTIL THE ASBESTOS HAS BEEN ABATED BY THE ABATEMENT CONTRACTOR.

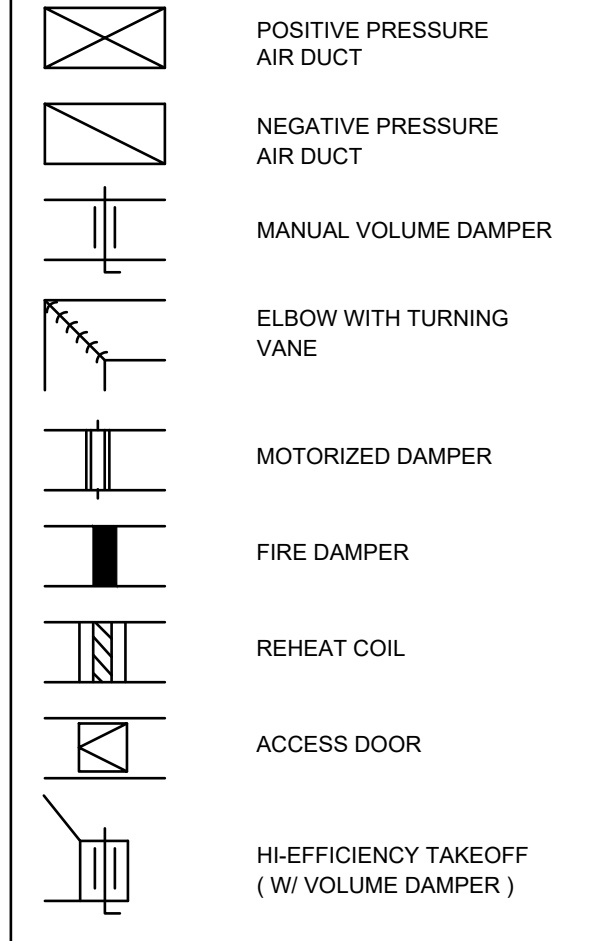
THIRD FLOOR PLUMBING DEMOLITION GENERAL NOTE

IT IS THE INTENT THAT ALL OF THE EXISTING PLUMBING FIXTURES ARE REMOVED ON THIS FLOOR IN THEIR ENTIRETY. COORDINATE WITH THE NEW FLOOR PLAN LAYOUT WHAT PIPING CAN REMAIN FOR REUSE OR RE-CONNECTION TO SERVE THE NEW PLUMBING FIXTURES. REMOVE ANY UNUSED PIPING COMPLETE. COORDINATE ANY OPENINGS REQUIRED IN THE CEILING ON THE FLOOR BELOW WITH THE ARCHITECT AND THE G.C. ITS THE INTENT TO KEEP THE OPENINGS OF ANY HARD LIDS ON THE FLOOR BELOW TO A MINIMUM SINCE THAT IS ALREADY REMODELED SPACE. BUT IT IS KNOWN THAT SOME WILL BE REQUIRED.

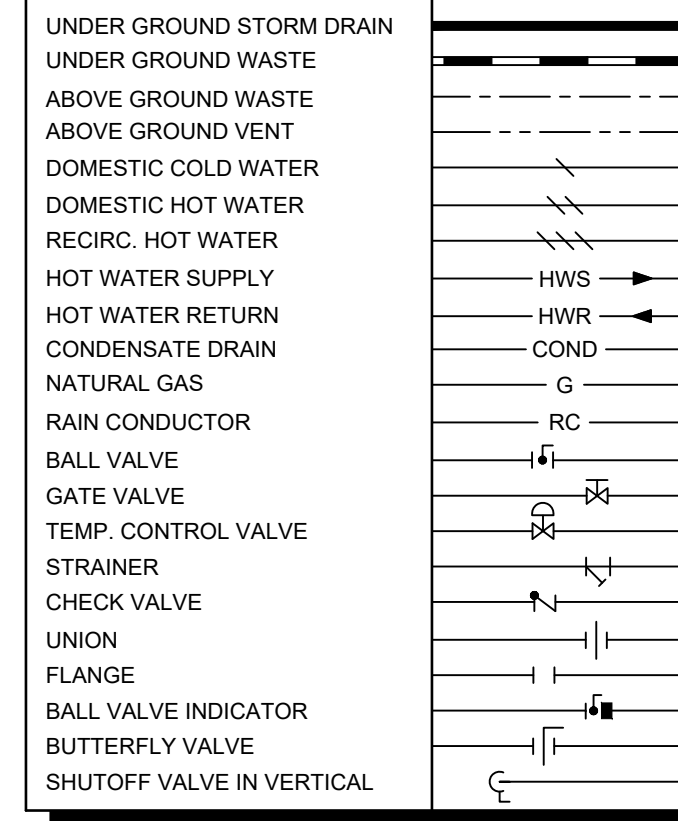
STANDARD ABBREVIATIONS

- AD - ACCESS DOOR
- AFF - ABOVE FINISHED FLOOR
- AFG - ABOVE FINISHED GRADE
- ATC - AUTOMATIC TEMPERATURE CONTROLS
- BDD - BACK DRAFT DAMPER
- BFG - BELOW FINISHED GRADE
- BFF - BELOW FINISHED FLOOR
- CA - COMBUSTION AIR
- CO - CLEAN OUT
- CW - COLD WATER
- EC - ELECTRICAL CONTRACTOR
- FA - FRESH AIR
- FCO - FLOOR CLEAN OUT
- FD - FLOOR DRAIN
- FDR - FIRE DAMPER
- GC - GENERAL CONTRACTOR
- HW - HOT WATER
- MC - MECHANICAL CONTRACTOR
- OSD - OPPOSED BLADE DAMPER
- PRV - POWER ROOF VENTILATOR
- RA - RETURN AIR
- RD - ROOF DRAIN
- RHW - RECIRCULATING HOT WATER
- SA - SUPPLY AIR
- SFD - SMOKE/FIRE DAMPER
- VD - VOLUME DAMPER
- VT - VENT
- VTR - VENT THRU ROOF
- W - WASTE
- WCO - WALL CLEAN OUT
- WH - WALL HYDRANT

HVAC LEGEND

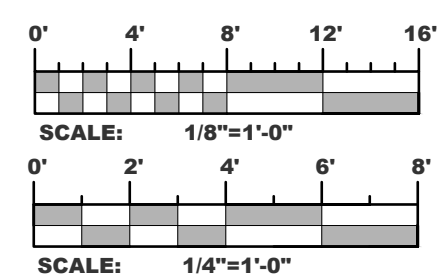


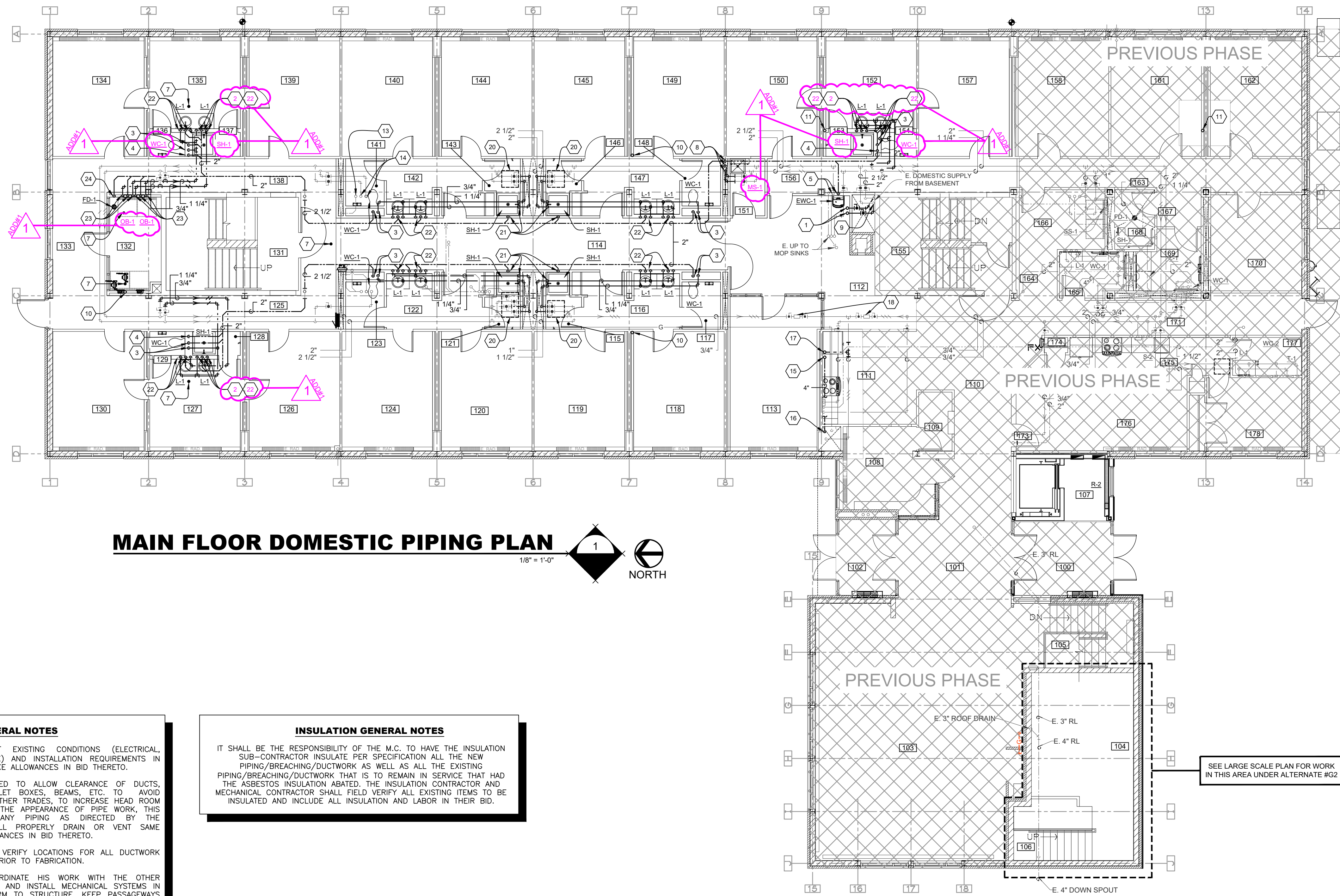
PIPE LEGEND



ROOM SCHEDULE

#	ROOM DESCRIPTION	ROOM DESCRIPTION	#
300	CORRIDOR	DORM ROOM	321
301	CORRIDOR	DORM ROOM	322
302	DORM ROOM	DORM ROOM	323
303	DORM ROOM	DORM ROOM	324
304	DORM ROOM	DORM ROOM	325
305	DORM ROOM	DORM ROOM	326
306	DORM ROOM	DORM ROOM	327
307	DORM ROOM	DORM ROOM	328
308	DORM ROOM	DORM ROOM	329
309	DORM ROOM	SHOWER	330
310	DORM ROOM	TOILET	331
311	DORM ROOM	LINEN	332
312	DORM ROOM	JANITOR	333
313	DORM ROOM	UTILITY	335
314	DORM ROOM	BATHING	336
315	DORM ROOM	TOILET	337
316	DORM ROOM	PHONE	338
317	DORM ROOM	LOUNGE	339
318	DORM ROOM	STAIR	340
319	DORM ROOM	STAIR	341
320	DORM ROOM		





MAIN FLOOR DOMESTIC PIPING PLAN
 1/8" = 1'-0" NORTH

GENERAL NOTES

- FIELD VERIFY ALL PERTINENT EXISTING CONDITIONS (ELECTRICAL, STRUCTURAL, PIPING, DUCTWORK) AND INSTALLATION REQUIREMENTS IN CONNECTION WITH REMODEL. MAKE ALLOWANCES IN BID THERETO.
- OFFSET PIPING WHERE REQUIRED TO ALLOW CLEARANCE OF DUCTS, ELECTRICAL CONDUIT AND OUTLET BOXES, BEAMS, ETC. TO AVOID INTERFERENCE WITH WORK OF OTHER TRADES. TO INCREASE HEAD ROOM UNDER PIPES OR TO IMPROVE THE APPEARANCE OF PIPE WORK, THIS CONTRACTOR SHALL OFFSET ANY PIPING AS DIRECTED BY THE ARCHITECT/ENGINEER AND SHALL PROPERLY DRAIN OR VENT SAME WHERE NECESSARY. MAKE ALLOWANCES IN BID THERETO.
- THIS CONTRACTOR SHALL FIELD VERIFY LOCATIONS FOR ALL DUCTWORK AND PIPING FOR INSTALLATION PRIOR TO FABRICATION.
- THIS CONTRACTOR SHALL COORDINATE HIS WORK WITH THE OTHER CONTRACTORS ON THE PROJECT AND INSTALL MECHANICAL SYSTEMS IN A MANNER WHICH WILL CONFORM TO STRUCTURE, KEEP PASSAGEWAYS AND OPENINGS CLEAR. PRESERVE HEAD ROOM, CLEAR LIGHTING FIXTURES AND NOT COVER UP JUNCTION BOXES. THIS CONTRACTOR SHALL MAKE OFFSETS IN PIPING OR DUCTWORK TO AVOID INTERFERENCE WITH OTHER TRADES. AT NO ADDITIONAL COST TO THE OWNER, WHEN SO DIRECTED BY THE ARCHITECT/ENGINEER.
- WHERE PIPING IS CONNECTED TO EQUIPMENT OR PLUMBING FIXTURES THAT ARE BEING REMOVED, THE PIPING SHALL BE REMOVED COMPLETELY (UNLESS NOTED OTHERWISE) FROM THE REMODELED SPACE AND CAPPED AT OR NEAR THE MAINS. PLUMBING PIPING THAT IS LOCATED IN A WALL TO BE REMOVED, SHALL BE REMOVED (IF NOT ACTIVE) AND CAPPED AT THE MAIN LINE OR OUT OF THE REMODELED SPACE.

INSULATION GENERAL NOTES

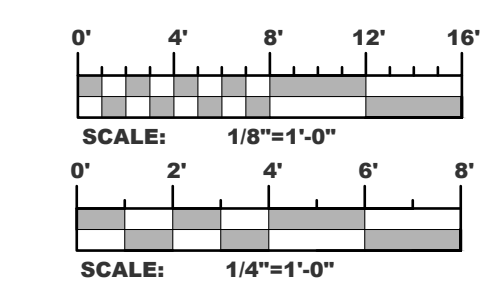
IT SHALL BE THE RESPONSIBILITY OF THE M.C. TO HAVE THE INSULATION SUB-CONTRACTOR INSULATE PER SPECIFICATION ALL THE NEW PIPING/BREACHING/DUCTWORK AS WELL AS ALL THE EXISTING PIPING/BREACHING/DUCTWORK THAT IS TO REMAIN IN SERVICE THAT HAD THE ASBESTOS INSULATION ABATED. THE INSULATION CONTRACTOR AND MECHANICAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING ITEMS TO BE INSULATED AND INCLUDE ALL INSULATION AND LABOR IN THEIR BID.

SEE LARGE SCALE PLAN FOR WORK IN THIS AREA UNDER ALTERNATE #G2

- KEYNOTES**
- 2" CW 1 1/4" HW UP THRU THE EXISTING FLOOR INTO THE STORAGE ROOM ABOVE. CORE DRILL HOLES AS REQUIRED TO ACCEPT THE PIPING AND INSULATION.
 - 3/4" CW/HW DN TO SHOWER AND LAV. 1 1/2" VT DN TO LAV.
 - 1" CW 2" VT DN TO WATER CLOSET.
 - 1 1/2" VT DN TO SHOWER WASTE.
 - 1/2" CW 1 1/2" VT DN TO ELECTRIC WATER COOLER.
 - NEW 3" W FROM EXISTING MOP SINKS DN TO BASEMENT.
 - NEW FLOOR WASTE CLEAN OUT.
 - 3/4" CW/HW, 1 1/2" VT TO JANITORS SINK.
 - CONNECT INTO THE EXISTING CW/HW PIPING NEAR THIS LOCATION FOR NEW BRANCH PIPING TO SERVE THE THIRD FLOOR.
 - 4" WASTE UP THRU THE FLOOR IN THE NEW FURRED OUT WALL TO THE FLOOR ABOVE AND DOWN THRU THE FLOOR TO BELOW GRADE. PROVIDE NEW FLOOR PENETRATION AS REQUIRED. COORDINATE THE EXACT LOCATION OF THE PENETRATION WITH EXISTING STRUCTURE AND ADJUST AS REQUIRED.
 - 4" WASTE UP THRU THE FLOOR IN THE NEW FURRED OUT WALL TO THE FLOOR ABOVE AND DOWN THRU THE FLOOR TO THE BASEMENT. PROVIDE NEW FLOOR PENETRATION AS REQUIRED. COORDINATE THE EXACT LOCATION OF THE PENETRATION WITH EXISTING STRUCTURE AND ADJUST AS REQUIRED.
 - NOT USED
 - CONNECT NEW 2" W INTO THE EXISTING WASTE STACK SERVING THE UPPER FLOORS NEAR THIS LOCATION. VERIFY EXACT LOCATION WITH FIELD CONDITIONS.
 - CONNECT NEW 1" CW/HW INTO THE EXISTING RISER SERVING THE UPPER LEVEL FLOORS NEAR THIS LOCATION. VERIFY EXACT LOCATION WITH FIELD CONDITIONS.
 - 4" WASTE UP THRU THE FLOOR IN THE NEW FURRED OUT WALL TO THE FLOOR ABOVE AND ROUTE HORIZONTALLY AS REQUIRED TO GET TO THE EXISTING CHASE AND ROUTE PIPING VERTICALLY DOWN TO THE BASEMENT. M.C. SHALL REMOVE AND REINSTALL THE EXISTING CEILING TILE AS REQUIRED TO INSTALL THE HORIZONTAL PIPING. REPLACE ANY BROKEN, DAMAGED OR SOILED TILE WITH NEW TILE TO MATCH THE EXISTING. PROTECT THE EXISTING CASWORK, FIXTURES AND APPLIANCES WITH PLASTIC AND CARDBOARD AS REQUIRED TO AVOID DUST DIRT AND SCRATCHING.
 - ROUTE NEW 4" WASTE PIPING DOWN IN THE EXISTING CHASE TO THE BASEMENT AND CONNECTED INTO THE EXISTING 4" WASTE PIPING INSTALL UNDER A PREVIOUS PROJECT. PROVIDE NEW FITTING AS REQUIRED. COORDINATE THE EXACT LOCATION OF THE PENETRATION WITH EXISTING STRUCTURE AND ADJUST AS REQUIRED.
 - 3/4" RECIRC HOT WATER UP THRU THE FLOOR IN THE NEW FURRED OUT WALL TO THE FLOOR ABOVE AND CONNECT INTO THE EXISTING 3/4" RECIRC HOT WATER ON THIS FLOOR. VERIFY EXACT ROUTING WITH ACTUAL INSTALLED CONDITIONS.
 - ADJUST THE HOT WATER RECIRC VALVES AS REQUIRED TO GET PROPER FLOW.
 - COORDINATE THE INSTALLATION AND LOCATION OF THE ACCESS DOOR AT THIS LOCATION IN THE HARD LID CEILING FOR VALVE ACCESS. ACCESS DOOR BY THE G.C.
 - COORDINATE THE INSTALLATION AND LOCATION OF THE ACCESS DOOR AT THIS LOCATION IN THE HARD LID CEILING FOR VALVE ACCESS. ACCESS DOOR BY THE G.C.
 - 1/2" CW/HW & 1 1/2" VT DN TO SHOWER AT THIS LOCATION.
 - 1/2" CW/HW & 1 1/2" VT DN TO LAV AT THIS LOCATION. UNDER BASE BID INSTALL ALL THE PIPING ROUGH-INS FOR BOTH LAVATORIES BUT ONLY ONE LAVATORY AND FAUCET SHALL BE INSTALLED AND PUT IN SERVICE. UNDER ALTERNATE #G3 THE SECOND LAVATORY AND FAUCET SHALL BE PROVIDED/INSTALLED AND PUT INTO SERVICE.
 - 3/4" CW/HW & 1 1/2" VT DN TO CLOTHES WASHER SPACE SAVER AT THIS LOCATION.
 - 1 1/2" VT DN. TO FLOOR DRAIN WASTE.

PHASE II ROOM SCHEDULE

#	ROOM DESCRIPTION	ROOM DESCRIPTION	#
100	VESTIBULE	DORM ROOM	139
101	LOBBY	DORM ROOM	140
102	VESTIBULE	TOILET	141
103	LOUNGE	SINKS	142
104	HEATING	SHOWER	143
105	STAIR	DORM ROOM	144
106	STAIR	DORM ROOM	145
107	ELEVATOR LOBBY	SHOWER	146
108	OFFICE	SINKS	147
109	MAIL	TOILET	148
110	CORRIDOR	DORM ROOM	149
111	KITCHEN	DORM ROOM	150
112	CORRIDOR	JANITOR	151
113	LARGE STUDY ROOM	LIVING ROOM	152
114	CORRIDOR	SHOWER	153
115	SHOWER	TOILET	154
116	SINKS	STAIR	155
117	TOILET	CORRIDOR	156
118	DORM ROOM	DORM ROOM	157
119	DORM ROOM	DORM ROOM	158
120	DORM ROOM	NOT USED	159
121	SHOWER	NOT USED	160
122	SINKS	DORM ROOM	161
123	TOILET	DORM ROOM	162
124	DORM ROOM	CORRIDOR	163
125	CORRIDOR	CORRIDOR	164
126	DORM ROOM	ADA RESTROOM	165
127	LIVING ROOM	ADA LAUNDRY	166
128	SHOWER	ADA HALL	167
129	TOILET	ADA SHOWER	168
130	DORM ROOM	ADA RESTROOM	169
131	STAIR	DORM ROOM	170
132	LAUNDRY	CORRIDOR	171
133	STUDY AREA	NOT USED	172
134	DORM ROOM	FOYER	173
135	LIVING ROOM	CLOSET	174
136	TOILET	KITCHEN	175
137	SHOWER	LIVING ROOM	176
138	CORRIDOR	RESTROOM	177
		BEDROOM	178



Prairie Engineering P.C.
 Professional Consulting Engineers
 619 Riverwood Drive, Suite 205
 Bismarck, ND 58504-4304
 tel. 701.258.3493 fax. 701.258.6857
 Project #23535

EAPC
 Architecture Engineering
 Interior Design Industrial
 TELE 701.225.6871 FAX
 100 State Ave, Dickinson ND 58601
 www.eapc.net

CONSULTANTS
PRAIRIE ENGINEERING - MECHANICAL AND ELECTRICAL
AE2S - STRUCTURAL

CLIENT
DICKINSON STATE UNIVERSITY

PROJECT DESCRIPTION
DSU WOODS HALL IMPROVEMENTS - PHASE 2: BASEMENT, MAIN & THIRD FLOORS

CITY **DICKINSON**
 STATE **NORTH DAKOTA**

ISSUE DATES

MARK	DESCRIPTION	DATE
R1	ADDENDUM #1	04/19/2024
CD	CONSTRUCTION DOCUMENTS	01/19/2024

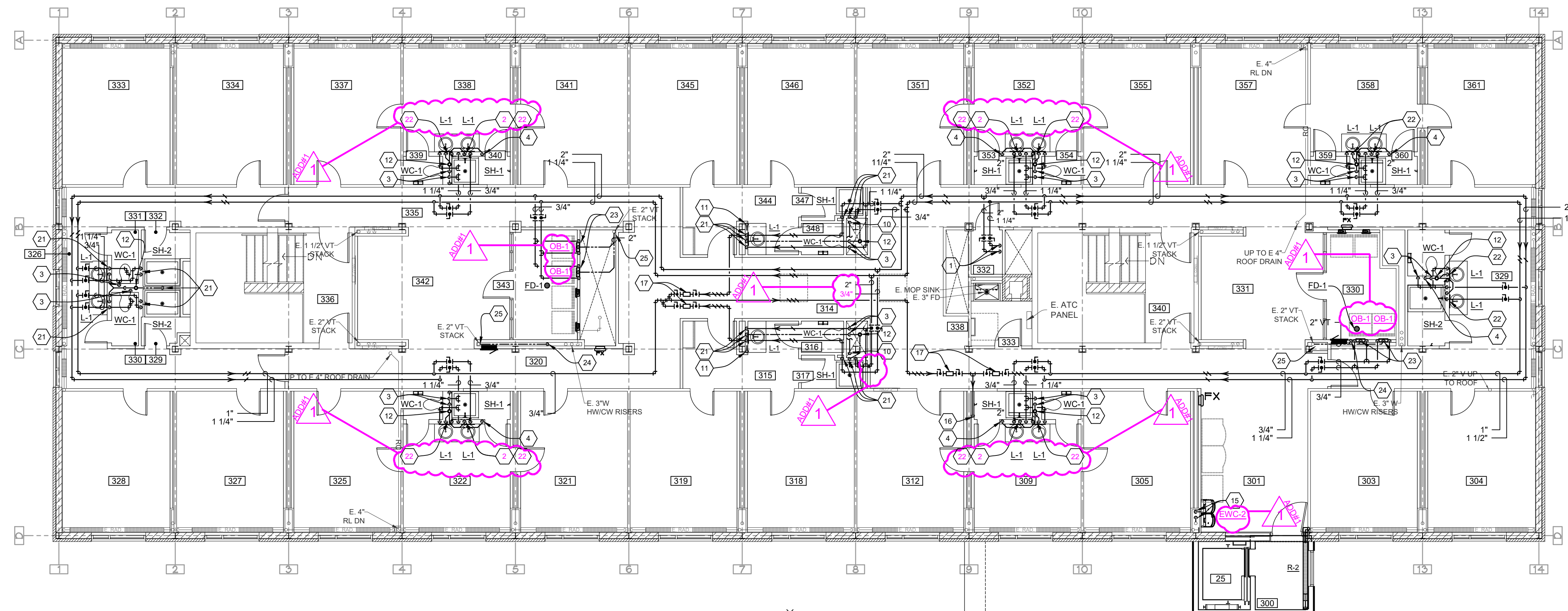
PROJECT NO: **20233600**
 DRAWN BY: **MJF**
 CHECKED BY: **BAW**

COPYRIGHT:
 All plans, specifications, computer files, field data, notes and other documents and instruments prepared by EAPC, EAPC shall retain all service shall remain the property of EAPC. EAPC shall retain all common law, statutory and other reserved rights, including the copyright thereto.

STAMP

DRAWING TITLE
MAIN FLOOR DOMESTIC PIPING PLAN

P1.1



THIRD FLOOR DOMESTIC PIPING PLAN
1/8" = 1'-0" NORTH

GENERAL NOTES

- FIELD VERIFY ALL PERTINENT EXISTING CONDITIONS (ELECTRICAL, STRUCTURAL, PIPING, DUCTWORK) AND INSTALLATION REQUIREMENTS IN CONNECTION WITH REMODEL. MAKE ALLOWANCES IN BID THERETO.
- OFFSET PIPING WHERE REQUIRED TO ALLOW CLEARANCE OF DUCTS, ELECTRICAL CONDUIT AND OUTLET BOXES, BEAMS, ETC. TO AVOID INTERFERENCE WITH WORK OF OTHER TRADES. TO INCREASE HEAD ROOM UNDER PIPES OR TO IMPROVE THE APPEARANCE OF PIPE WORK, THIS CONTRACTOR SHALL OFFSET ANY PIPING AS DIRECTED BY THE ARCHITECT/ENGINEER AND SHALL PROPERLY DRAIN OR VENT SAME WHERE NECESSARY. MAKE ALLOWANCES IN BID THERETO.
- THIS CONTRACTOR SHALL FIELD VERIFY LOCATIONS FOR ALL DUCTWORK AND PIPING FOR INSTALLATION PRIOR TO FABRICATION.
- THIS CONTRACTOR SHALL COORDINATE HIS WORK WITH THE OTHER CONTRACTORS ON THE PROJECT AND INSTALL MECHANICAL SYSTEMS IN A MANNER WHICH WILL CONFORM TO STRUCTURE, KEEP PASSAGEWAYS AND OPENINGS CLEAR. PRESERVE HEAD ROOM, CLEAR LIGHTING FIXTURES AND NOT COVER UP JUNCTION BOXES. THIS CONTRACTOR SHALL MAKE OFFSETS IN PIPING OR DUCTWORK TO AVOID INTERFERENCE WITH OTHER TRADES. AT NO ADDITIONAL COST TO THE OWNER, WHEN SO DIRECTED BY THE ARCHITECT/ENGINEER.
- WHERE PIPING IS CONNECTED TO EQUIPMENT OR PLUMBING FIXTURES THAT ARE BEING REMOVED, THE PIPING SHALL BE REMOVED COMPLETELY (UNLESS NOTED OTHERWISE) FROM THE REMODELED SPACE AND CAPPED AT OR NEAR THE MAINS. PLUMBING PIPING THAT IS LOCATED IN A WALL TO BE REMOVED, SHALL BE REMOVED (IF NOT ACTIVE) AND CAPPED AT THE MAIN LINE OR OUT OF THE REMODELED SPACE.

INSULATION GENERAL NOTES

IT SHALL BE THE RESPONSIBILITY OF THE M.C. TO HAVE THE INSULATION SUB-CONTRACTOR INSULATE PER SPECIFICATION ALL THE NEW PIPING/BREACHING/DUCTWORK AS WELL AS ALL THE EXISTING PIPING/BREACHING/DUCTWORK THAT IS TO REMAIN IN SERVICE THAT HAD THE ASBESTOS INSULATION ABATED. THE INSULATION CONTRACTOR AND MECHANICAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING ITEMS TO BE INSULATED AND INCLUDE ALL INSULATION AND LABOR IN THEIR BID.

KEYNOTES

- 2" CW 1 1/4" HW DN THRU THE EXISTING FLOOR INTO THE STORAGE ROOM BELOW ABOVE. CORE DRILL HOLES AS REQUIRED TO ACCEPT THE PIPING AND INSULATION.
- 3/4" CW/HW DN TO SHOWER AND LAV. 1 1/2" VT DN TO LAV.
- 1" CW 2" VT DN TO WATER CLOSET.
- 1 1/2" VT DN TO SHOWER WASTE.
- 1/2" CW 1 1/2" VT DN TO ELECTRIC WATER COOLER.
- NEW 3" W FROM EXISTING MOP SINKS DN TO BASEMENT.
- NEW FLOOR WASTE CLEAN OUT.
- 3/4" CW/HW, 1 1/2" VT TO JANITORS SINK.
- 2" VT DN TO WATER CLOSET. 4" PLUMBING VENT UP THRU THE ROOF. COORDINATE THE ROOF PENETRATION AND ANY ROOF PATCHING/REPAIR WITH THE G.C.
- 4" WASTE DN TO THE FLOOR BELOW, PROVIDE NEW FLOOR PENETRATION AS REQUIRED.
- 1 1/2" WASTE DN TO THE FLOOR BELOW, PROVIDE NEW FLOOR PENETRATION AS REQUIRED.
- 4" PLUMBING VENT UP THRU THE ROOF. COORDINATE THE ROOF PENETRATION AND ANY ROOF PATCHING/REPAIR WITH THE G.C.
- CONNECT NEW 2" W INTO THE EXISTING WASTE STACK SERVING THE UPPER FLOORS NEAR THIS LOCATION. VERIFY EXACT LOCATION WITH FIELD CONDITIONS.
- CONNECT NEW 1" CW/HW INTO THE EXISTING RISER SERVING THE UPPER LEVEL FLOORS NEAR THIS LOCATION. VERIFY EXACT LOCATION WITH FIELD CONDITIONS.
- PROVIDE A NEW DUAL HEIGHT ELECTRIC WATER COOLER W/BOTTLE FILLER AT THIS LOCATION. CONNECT INTO THE EXISTING PLUMBING IN THE CHASE FROM SECOND FLOOR THAT ORIGINALLY FED FROM THE MAIN FLOOR. INSTALL SO HIGH COOLER IS CLOSEST TO THE EXTERIOR WALL.
- 3/4" RECIRC HOT WATER DN IN NEW FURRED OUT WALL TO THE FLOOR BELOW. PROVIDE NEW FLOOR PENETRATION AS REQUIRED.
- PROVIDE NEW HOT WATER RECIRC VALVES NEAR THIS LOCATION. SEE SPEC.
- NOT USED
- NOT USED
- COORDINATE THE INSTALLATION AND LOCATION OF THE ACCESS DOOR AT THIS LOCATION IN THE HARD LID CEILING FOR VALVE ACCESS. ACCESS DOOR BY THE G.C.
- 1/2" CW/HW & 1 1/2" VT DN TO SHOWER OR LAV AT THIS LOCATION.
- 1/2" CW/HW & 1 1/2" VT DN TO LAV AT THIS LOCATION. UNDER BASE BID INSTALL ALL THE PIPING/SHRANS FOR BOTH LAVATORIES BUT ONLY ONE LAVATORY AND FAUCET SHALL BE INSTALLED AND PUT IN SERVICE. UNDER ALTERNATE #153 THE SECOND LAVATORY AND FAUCET SHALL BE PROVIDED/INSTALLED AND PUT INTO SERVICE.
- 3/4" CW/HW & 1 1/2" VT DN TO CLOTHES WASHER SPACE SAVER AT THIS LOCATION.
- 1 1/2" VT DN, TO FLOOR DRAIN WASTE.
- CONNECT NEW VENT INTO THE EXISTING VENT STACK NEAR THIS LOCATION.

ROOM SCHEDULE

#	ROOM DESCRIPTION	ROOM DESCRIPTION	#
300	ELEVATOR LOBBY	SHOWER	332
301	ELEVATOR LOBBY	DORM ROOM	333
302	LIVING ROOM	DORM ROOM	334
303	DORM ROOM	CORRIDOR	335
304	DORM ROOM	STAIR	336
305	TOILET	DORM ROOM	337
306	SHOWER	LIVING ROOM	338
307	CORRIDOR	TOILET	339
308	DORM ROOM	SHOWER	340
309	LIVING ROOM	DORM ROOM	341
310	TOILET	LOUNGE	342
311	SHOWER	LAUNDRY	343
312	DORM ROOM	SINKS	344
313	JANITOR	DORM ROOM	345
314	CORRIDOR	DORM ROOM	346
315	SINKS	SHOWER	347
316	TOILET	TOILET	348
317	SHOWER	CORRIDOR	349
318	DORM ROOM	STORAGE	350
319	DORM ROOM	DORM ROOM	351
320	CORRIDOR	LIVING ROOM	352
321	DORM ROOM	SHOWER	353
322	LIVING ROOM	TOILET	354
323	SHOWER	DORM ROOM	355
324	TOILET	STAIR	356
325	DORM ROOM	DORM ROOM	357
326	SINKS	LIVING ROOM	358
327	DORM ROOM	TOILET	359
328	DORM ROOM	SHOWER	360
329	SHOWER	DORM ROOM	361
330	TOILET	LOUNGE	362
331	TOILET	LAUNDRY	363

EAPC
Architecture | Engineering
Interior Design | Industrial
TELE 701.225.6871 FAX
100 State Ave, Dickinson ND 58601
www.eapc.net

CONSULTANTS
PRAIRIE ENGINEERING - MECHANICAL AND ELECTRICAL

AE2S - STRUCTURAL

CLIENT
DICKINSON STATE UNIVERSITY

PROJECT DESCRIPTION
DSU WOODS HALL IMPROVEMENTS - PHASE 2: BASEMENT, MAIN & THIRD FLOORS

CITY **DICKINSON**
STATE **NORTH DAKOTA**

ISSUE DATES

MARK	DESCRIPTION	DATE
R1	ADDENDUM #1	04/19/2024
CD	CONSTRUCTION DOCUMENTS	01/19/2024

PROJECT NO: **20233600**

DRAWN BY: **MJF**

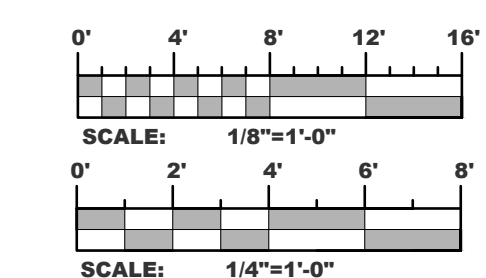
CHECKED BY: **BAW**

COPYRIGHT:
All plans, specifications, computer files, field data, notes and other documents and instruments prepared by EAPC, EAPC as instruments of service shall remain the property of EAPC. EAPC shall retain all common law, statutory and other reserved rights, including the copyright thereto.

STAMP

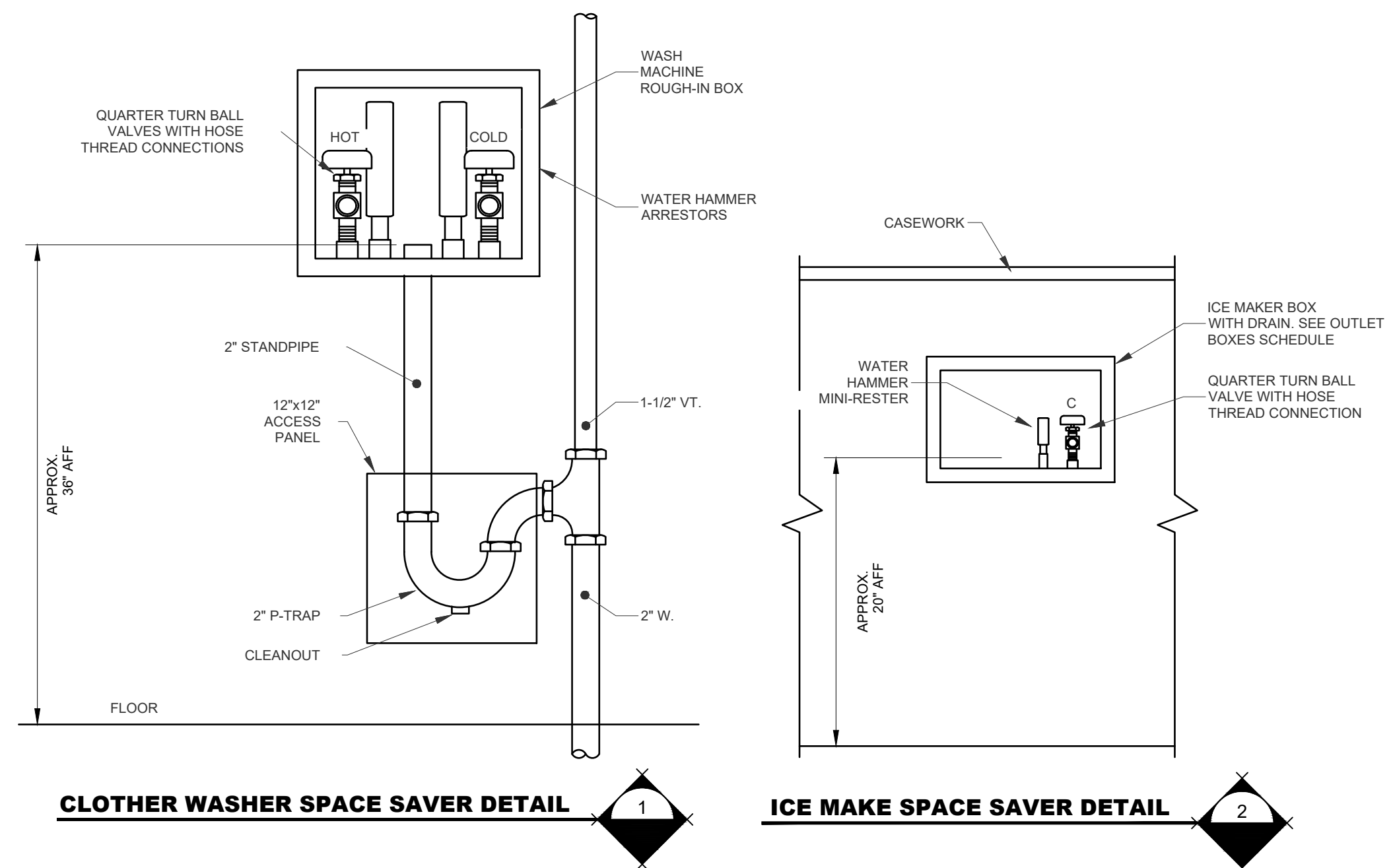
DRAWING TITLE

THIRD FLOOR DOMESTIC PIPING PLAN



Prairie Engineering P.C.
Professional Consulting Engineers
619 Riverwood Drive, Suite 205
Bismarck, ND 58504-4304
tel. 701.258.3493 fax. 701.258.6857
Project #23535

P1.3



224000 - PLUMBING FIXTURE SCHEDULE

SCHEDULE NOTES:
 1. SCHEDULE IS ABBREVIATED. SEE PLUMBING SPECIFICATIONS SECTION 224000 FOR FULL SPECIFICATIONS.
 2. SEE ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHTS
 3. SEAL JOINTS BETWEEN FIXTURES AND FLOORS/WALLS WITH MILDEW RESISTANT SEALANT. MATCH COLOR TO FIXTURE

TAG	FIXTURE			ADA	FAUCET/VALVE			DESCRIPTION
	TYPE	MFR	MODEL		MFR	MODEL	OPTION	
EW-1	ELECTRIC WATER COOLER WITH BOTTLE FILLER (SINGLE UNIT)	ELKAY	LZSG8WSLK	YES	N/A	N/A	N/A	SURFACE WALL MOUNT, SS BASIN, INTEGRAL DRAIN GRIDS, SINGLE LEVEL WHEELCHAIR ACCESSIBLE, WITH INTEGRAL BOTTLE FILLER, FRONT PUSH BUTTON, WITH CHILLER, 120V
EW-2	ELECTRIC WATER COOLER (DUAL HEIGHT)	ELKAY	LZSTL8WSLP	YES	N/A	N/A	N/A	SURFACE WALL MOUNT, SS BASIN, INTEGRAL DRAIN GRIDS, TWO LEVEL WHEELCHAIR ACCESSIBLE, FRONT PUSH-BARS, BOTTLE FILLING STATION, 120V, PROVIDE FOR SINGLE POINT SINGLE PLUG POWER CONNECTION.
L-1	COUNTER MOUNT	KOHLER	K-2196	YES	KOHLER	K-15598	MANUAL	COUNTER MOUNTED, DROP-IN SELF RIMMING, VITREOUS CHINA OVAL, SINGLE HANDLE FAUCET, 1.2 GPM, DRILLED FOR CONCEALED ARM CARRIER
MS-1	MOP SERVICE BASIN	FIAT	MSB2424	NO	CHICAGO FAUCETS	897-CRCF	MANUAL	MOP SINK, 24" X 24" X 10" (610MM X 610MM X 254MM) DEEP, FLOOR MOUNTED, MOLDED-STONE 'SMC' ONE PIECE HOMOGENEOUS PRODUCT, AND INTEGRAL DRAIN WITH S.S. DOMED STRAINER AND LINT BASKET 3" (75MM) OUTLET. FAUCET SHALL INTERGRAL CHECKS
SH-1	36"x36" SOLID SURFACE SHOWER ENCLOSURE (BY THE G.C.) WITH FIXED THERMOSTATIC SHOWER HEAD	BY THE G.C.	BY THE G.C.	NO	DELTA	R10000 - UNWS/ T17TH125-00	MANUAL	SOLID SURFACE SHOWER FLOOR PAN AND WALLS BY THE G.C., TEMPASSURE 17T THERMOSTATIC VALVE W/UNIVERSAL INLETS/OUTLETS. SINGLE FIXED SHOWER HEAD, 1.75 GPM (3) THREE FUNCTION SHOWER HEAD.
SH-2	48"x36" SOLID SURFACE SHOWER ENCLOSURE (BY THE G.C.) WITH FIXED THERMOSTATIC SHOWER HEAD	BY THE G.C.	BY THE G.C.	NO	DELTA	R10000 - UNWS/ T17TH125-00	MANUAL	SOLID SURFACE SHOWER FLOOR PAN AND WALLS BY THE G.C., TEMPASSURE 17T THERMOSTATIC VALVE W/UNIVERSAL INLETS/OUTLETS. SINGLE FIXED SHOWER HEAD, 1.75 GPM (3) THREE FUNCTION SHOWER HEAD.
S-1	DOUBLE BOWL ADA KITCHEN SINK	ELKAY	LRAD332265PD	YES	ELKAY	LK6000	MANUAL SINGLE HANDLE GOOSENECK	DOUBLE COMPARTMENT WITH PERFECT DRAIN, TOP MOUNT KITCHEN SINK WITH SINGLE HANDLE GOOSENECK FAUCET WITH PULL OUT SPRAY, DECK CLEARANCE 7 3/8", SPOUT REACH 9", SPOUT SWING ROTATION 360°, 1.5 GPM, 6" DEEP BOWL FOR ADA COMPLIANCE.
UR-1	ADA WALL HUNG CHINA URNIAL	KOHLER	K-5016-ETSS	YES	SLOAN	186-0.5	MANUAL	WALL HUNG, SIPHON-JET, 0.5 GPF, VITREOUS CHINA, CARRIER, FLUSH VALVE, TOP SPUD, MANUAL FLUSH VALVE
WC-1	WALL HUNG WATER CLOSET	KOHLER	K-4325	YES	SLOAN	REGAL 111	MANUAL FLUSH VALVE	KOHLER "KINGSTON" K-4325 ELONGATED BOWL, WALL HUNG WITH TOP OF BOWL AT 16 1/2" FROM THE FLOOR, 1.6 GALLON FLUSH, SIPHON JET, VITREOUS CHINA WATER CLOSET, KOHLER NO. K-4666-C, OPEN FRONT SEAT LESS COVER WITH CHECK HINGE, SLOAN FLUSHOMETER HORIZONTAL OR VERTICAL CARRIERS, MODEL AS REQUIRED.

223000 - SUMP PUMP SCHEDULE

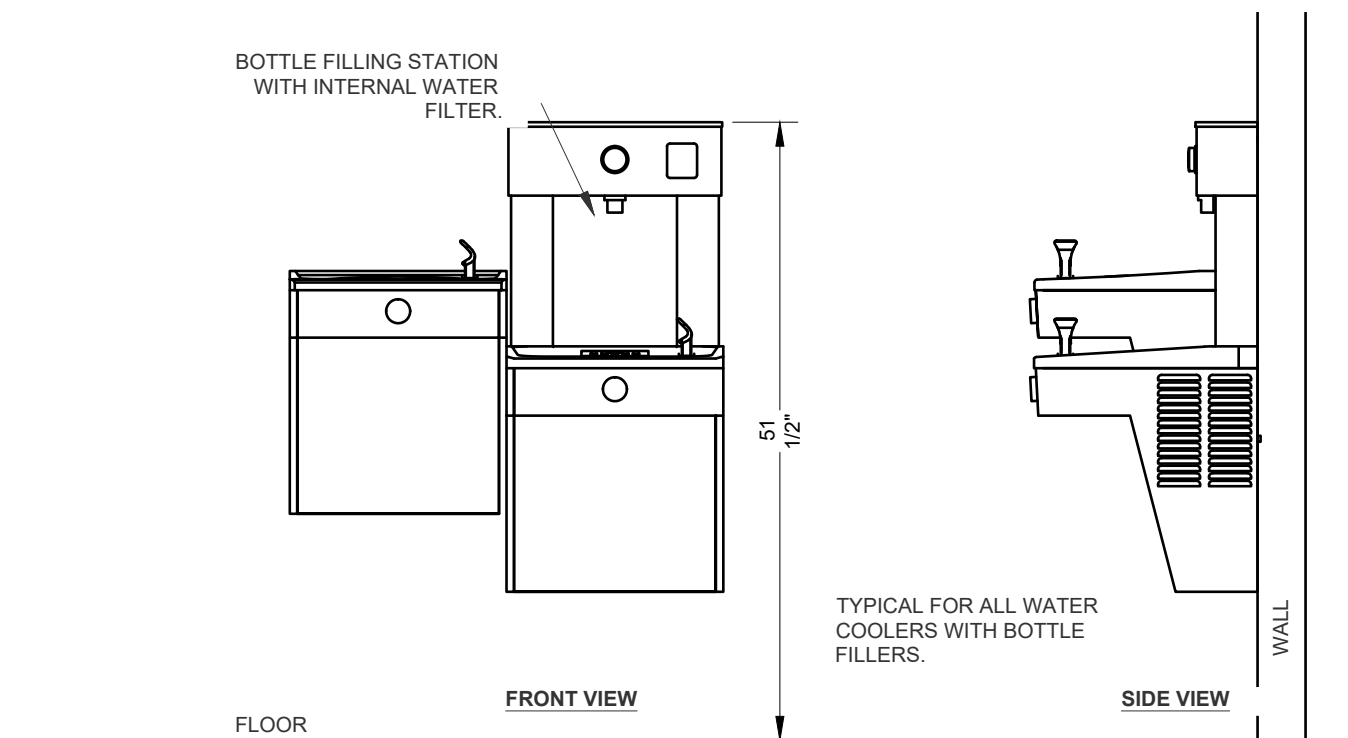
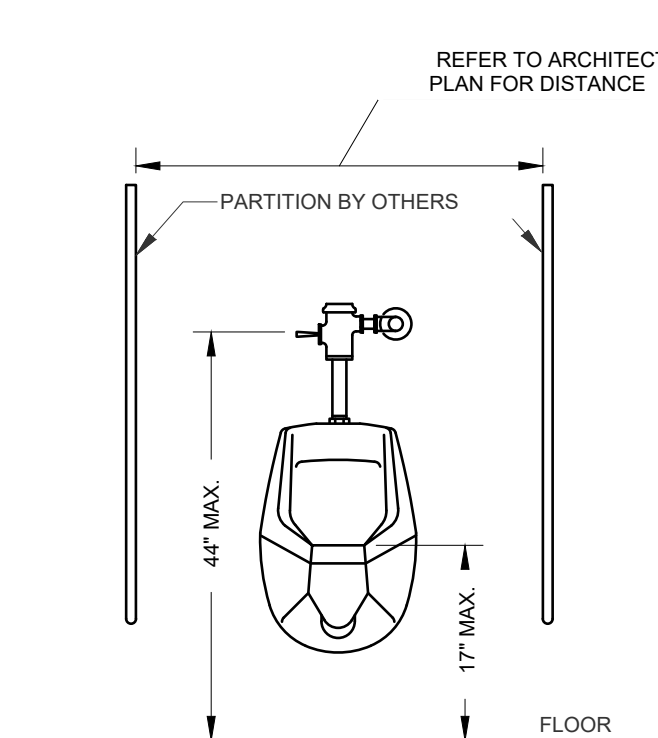
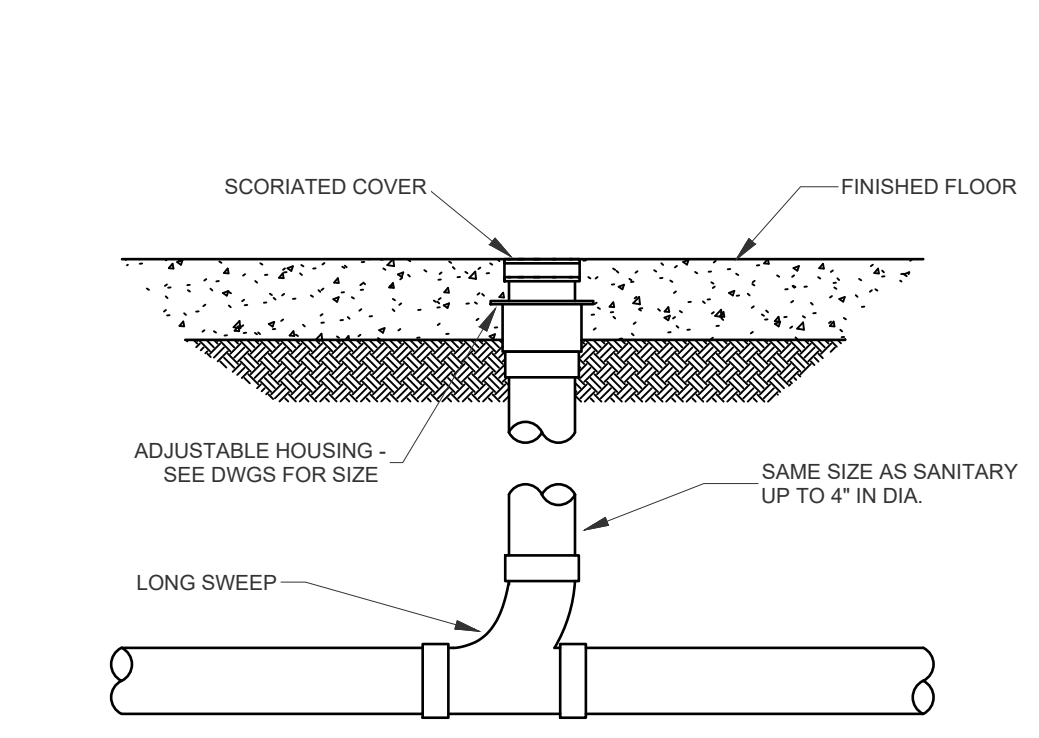
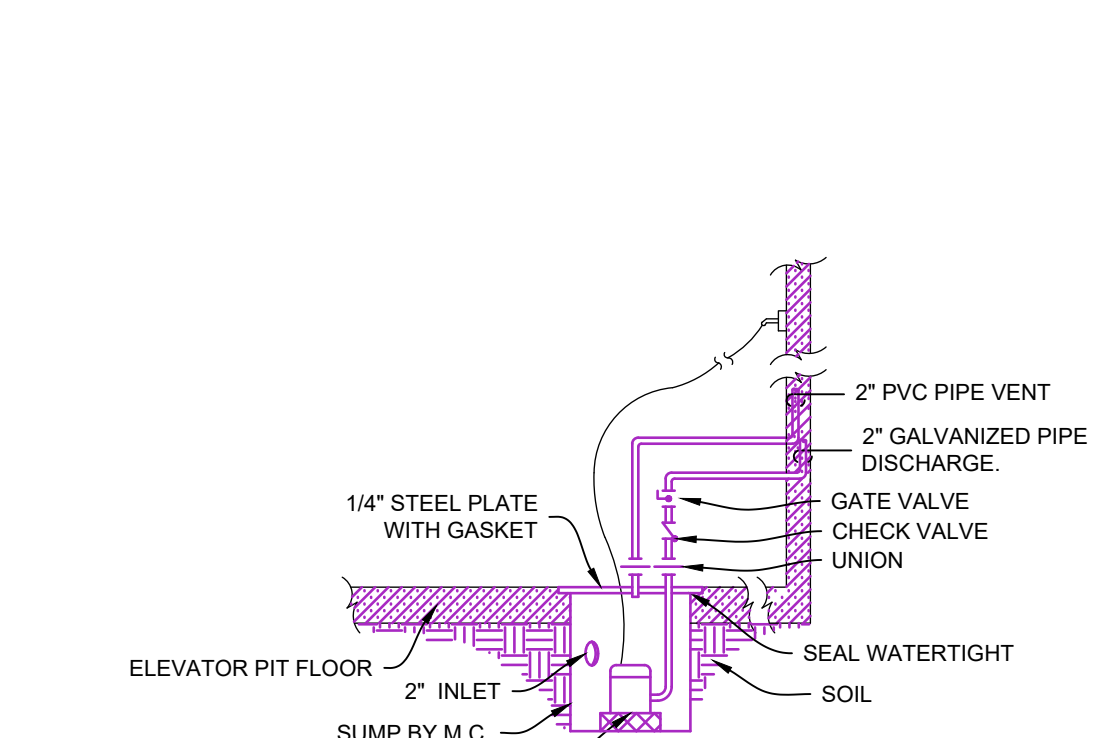
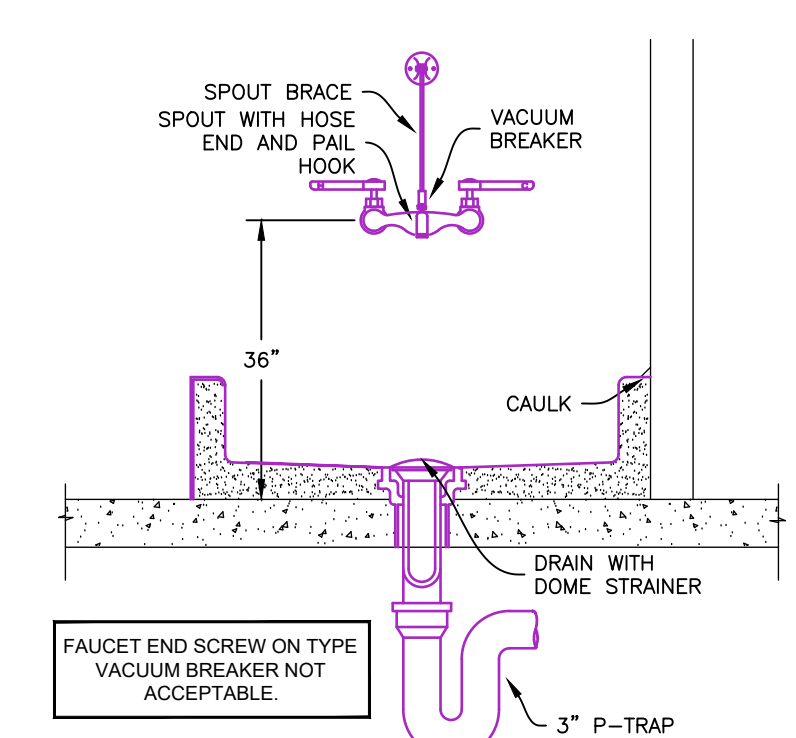
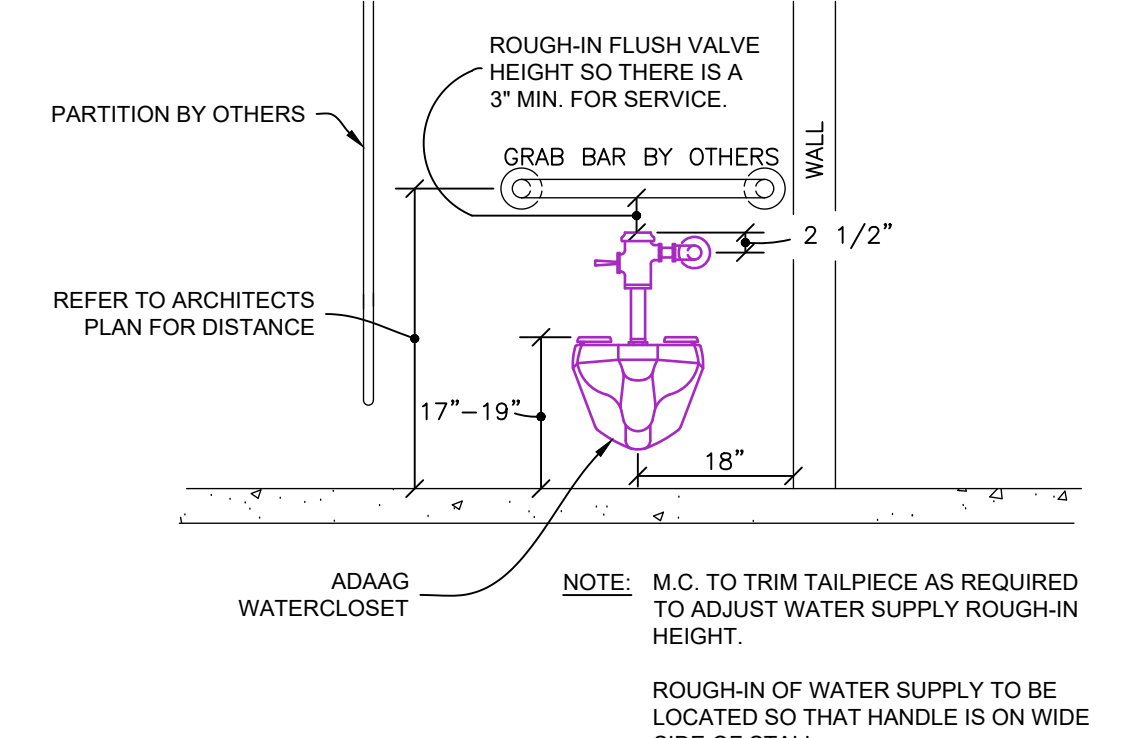
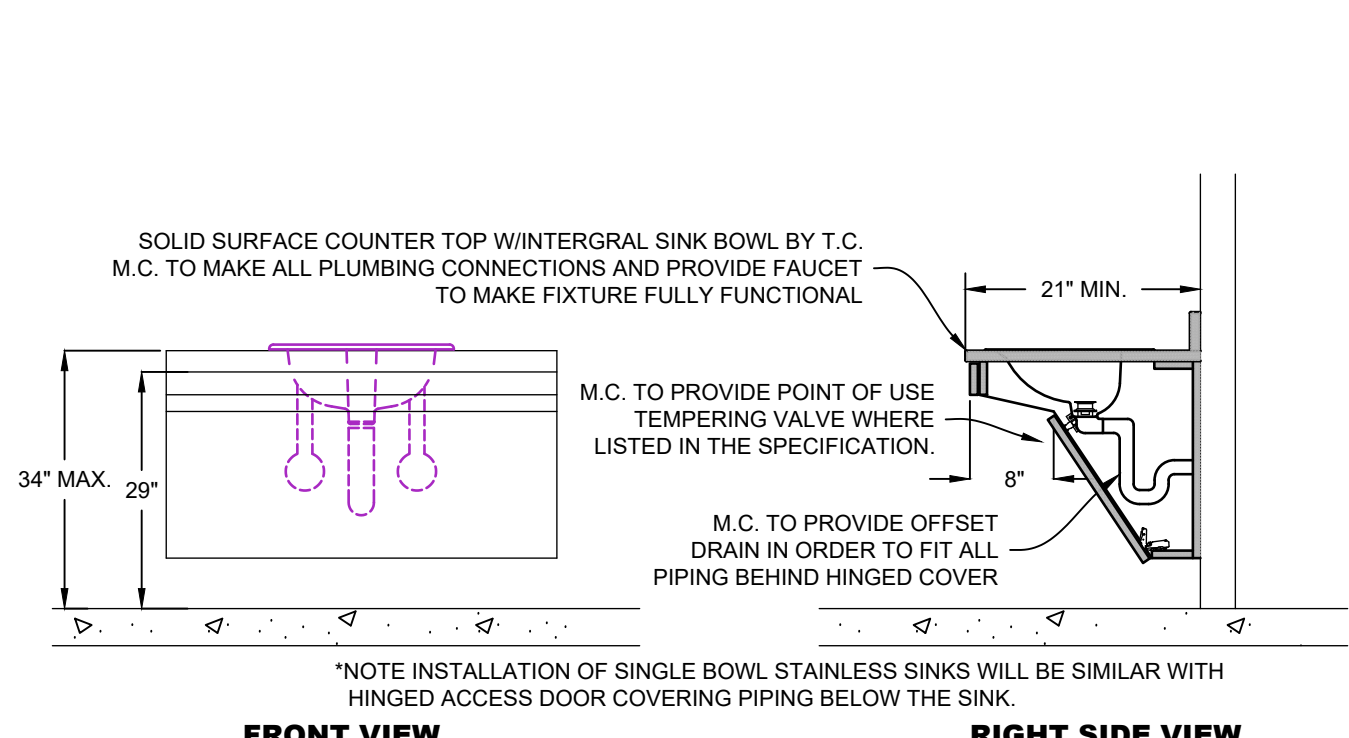
SCHEDULE NOTES:
 1. SEE DETAIL AND SPEC SECTION 223000 FOR ACCESSORIES
 2. AUTOMATIC PUMP CONTROL WITH HIGH WATER ALARM AND CONTACT FOR BAS ALARM
 3. PROVIDE PUMPS WITH 15' CORDS

MARK	MANUFACTURER	MODEL	TYPE	GPM	FT OF HD	MOTOR INFORMATION				NOTES
						HP	V	Ph	Hz	
SP-1	B&G	2EC0511	SUBMERSIBLE	48	25	0.5	115	1	60	1,2,3

221200 - OUTLET BOXES

SCHEDULE NOTES:
 1. WHERE BOXES ARE INSTALLED IN FIRE RATED WALLS, PROVIDE FIRE RATED BOX
 2. MOUNTING HEIGHT SHALL BE COORDINATED PRIOR TO INSTALLATION.
 3. DUAL BOX ONE FOR DRAINAGE ONE FOR CW/HW SUPPLY.

TAG	FIXTURE			NOTES
	TYPE	MANUFACTURER	MODEL	
OB-1	CLOTHES WASHING MACHINE	SIoux CHIEF	696	1,2,3
OB-2	REFRIGERATOR ICE MAKER	SIoux CHIEF	696	1,2



MARK	DESCRIPTION	DATE
R1	ADDENDUM #1	04/19/2024
CD	CONSTRUCTION DOCUMENTS	01/19/2024

PROJECT NO: **20233600**
 DRAWN BY: **MJF**
 CHECKED BY: **BAW**

COPYRIGHT:
 All plans, specifications, computer files, field data, notes and other documents and instruments prepared by EAPC as instruments of service shall remain the property of EAPC. EAPC shall retain all common law, statutory and other reserved rights, including the copyright thereto.

STAMP

