



Addendum #	02	Date Issued	03/31/2025
Project Name Job #	SWN 0509, Waneta Hall Renovate Restrooms	OSE # R0325--15X	EAPC #20256780
Bid Date Time	April 3, 2025		3:30pm

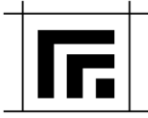
THIS ADDENDUM AMENDS AND BECOMES PART OF THE CONTRACT DOCUMENTS FOR EAPC PROJECT 20246780 DATED 03/13/2025, RESPECTIVELY. EACH BIDDER SHALL ACKNOWLEDGE RECEIPT OF THIS ADDENDUM BY MARKING THE ADDENDUM NUMBER AND DATE ON THE BID FORM.

SPECIFICATIONS

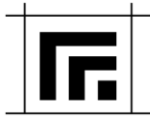
07 1300	DELETE Section 07 1300 in its entirety.
07 1400	ADD Section 07 1400 – Fluid Applied Waterproofing
07 2119	CLARIFICATION – Additional fire protective coatings are only required if the foam insulation is not covered by gypsum board and would be left exposed to view.
09 3000.2.1.B	REVISE to Type CTW-2 and CTW-3
09 3000.2.1.B.6.a	REVISE article “a” as follows; <ul style="list-style-type: none"> a. Syversen: Ragno – Grace – Blu Notte (CTW-2) and Ragno – Grace – Blu Notte – Raye 3d (CTW-3)
23 2513	CLARIFICATION: Contractor shall be responsible to provide pure ethylene glycol and mix into the existing heating water system to achieve a 40% Ethylene glycol – 60% deionized water mixture. Inhibitor/deionized water shall be owner provided.

DRAWINGS

A101	REMOVE Keynote AD 17 at WOMEN 127 and MEN 177 REVISE Keynote AE 33.
A200	ADD Keynote AE 56 and REVISE AE 35 in Keynote Legend.
A221	ADD Keynote AE 57.
A304	REVISE ceiling layout on 1/A304. ADD Keynote AE 55 and REVISE AE 28 in Keynote Legend.

**ADDENDUM 02** *continued*

- A701 REVERSE Bottle filler tile to CTW-3.
CLARIFY tile extents and integral base at 14/A701.
CLARIFY extents of integral base at details 1, 2, and 3.
REMOVE Keynote AE 37 and ADD AE 11 at detail 17/A701.
- A702 REVERSE tile extents at 7/A702.
- A901 REVERSE Keynote AI 03.
REVERSE CTW-1 to CTW-2.
CLARIFY paint finishes at General Finish Notes 5,17,19, and 22.
- A902 REVERSE Keynote AI 03.
CLARIFY paint finishes at General Finish Notes 5,17,19, and 22.
- A904 REVERSE Keynote AE 02 to AE 55.
ADD Keynote AE 55 and REVERSE AI 04 in Keynote Legend.
REVERSE finish transitions and CLARIFY room numbers at detail 1/A904.
CLARIFY paint finishes at General Finish Notes 5,17,19, and 22.
- A921 REVERSE detail 8/A921.
ADD details 9/A921 and 10/A921 in their entirety.
ADD finish CPT-5.
- M301 ADD General Note 01 regarding sealing annular space at all floor and ceiling penetrations between floors with noncombustible material to resist the passage of fire and smoke. Note 02 clarifies outdoor ductwork shall be pre-assembled phenolic type (see specification). ADD fire dampers at floor assembly between first and second floor as shown on plan.
- M302 ADD General Note 01 regarding sealing annular space at all floor and ceiling penetrations between floors with noncombustible material to resist the passage of fire and smoke.
- M303 ADD General Note 01 regarding sealing annular space at all floor and ceiling penetrations between floors with noncombustible material to resist the passage of fire and smoke. ADD fire dampers at floor assembly between second and third floor as shown on plan.
- M304 CLARIFICATION: All outdoor ductwork shall be pre-assembled phenolic type (see specification).
- E104 Clarification for 2nd and 3rd floor laundry rooms that require relocation of data panel. Add note 5 for entry way for added ceiling.
- E200.1 Sheet added for clarification on conduit routing for feeders to 2nd floor to be routed through crawl space.
- E202 Note 5 added for clarification on relocated data panel.



ADDENDUM 02 *continued*

E203	Note 5 added for clarification on relocated data panel.
E304	Add A3 fixture and connect to circuit W3B(31).
E802	Provide six (6) extra C1 lights for Owner attic stock. Add V1 fixture.

PRIOR APPROVALS

22 1006	Plumbing Specialties	Watts
22 4000	Plumbing Fixtures – Carriers	Watts
23 2114	Balancing Valves	Hydronic Components Inc.
23 3300	Air Duct Accessories	Greenheck
23 3423	Power Ventilators	Rupp
23 8300	Radiant Heating and Cooling Units	Aerotech, TWA
26 0923	Lighting Control	Leviton
26 5119	A2/A3	Elite FPL, Meta 22GTS
	B1/B2	Startek RSLIM, Axis B2SQRLED
	C1	HALR HLB6
	D1	Elite OWP, Lumk WPMLED
	E1	Sure Lite APX
EvenLite Décor Design DR	EM	Dual Lite EV4R, ISOLITE ELF, REM SERIES,
	V1	BrownLee Trace, Lithonia FMCVSLs

ATTACHMENTS

Planholder's List	A702	E104
Pre-bid Meeting Sign-In Sheet	A901	E200.1
Pre-bid Meeting Notes	A902	E202
Section 07 1400	A904	E203
A101	A921	E304
A200	M301	E802
A221	M302	
A304	M303	
A701		



PLAN HOLDERS LIST
SWN 0509, Waneta Hall Renovate Restrooms
OSE #R0325--15X
EAPC Project: # 20246780

BID DATE: April 3, 2025
 BID TIME: 3:30pm

PLAN HOLDER	CONTACT PERSON	ADDRESS	CITY	STATE	ZIP	PHONE	FAX	EMAIL
EAPC Architects Engineers	Shawn Crowley	101 N Phillips Ave Suite 300	Sioux Falls	SD	57104	604-444-1612		shawn.crowley@eapc.net
South Dakota State University	Reed Leibel	Facilities & Services Building, Box 2150	Brookings	SD	57007	605-688-5292		Reed.Leibel@sdstate.edu
Office of the State Engineer	Todd Baack	4900 S Minnesota Ave Suite 104	Sioux Falls	SD	57108	605-367-7165		todd.baack@state.sd.us
BUILDERS EXCHANGES								
Aberdeen Builders Exchange	Sherri	302 N. Jackson Street	Aberdeen	SD	57401	605-290-4210		dakotabuild@midconetwork.com
Construction Industry Center		Box 1227	Rapid City	SD	57709	605-343-5252	605-343-4591	cic@constructionindustrycenter.com or chrissy@constructionindustrycenter.com
Construct Connect	Sherri Magness					513-458-5864		Sherri.Magness@ConstructConnect.com
Disadvantaged Business Enterprise (DBE)	Kyle Watkins					605-773-4906		kyle.watkins@state.sd.us
Dodge Construction Network	Darnel Foster					844-326-3826		dodge.docs@construction.com
Fargo-Moorhead Bldrs. Exchange		P. O. Box 10076	Fargo	ND	58106	701-237-6772	701-232-1653	upload
Lincoln Builders Bureau		5910 S 58th St Ste C	Lincoln	NE	68516	402-421-8332		info@buildersbureau.com
Master Builders of Iowa		221 Park St	Des Moines	IA	50309	515-288-8904		content@isqft.com
Minnesota Builders Exchange		1123 Glenwood Avenue	Minneapolis	MN	55405	612-381-2620	612-381-2621	new project: jb@mbex.org addendums: addenda@mbex.org
Omaha Builders Exchange		4159 S 94th Street	Omaha	NE	68127	402-991-6906		lisa.shockey@omahaplanroom.com
Plains Builders Exchange		220 N. Kiwanis Ave.	Sioux Falls	SD	57104-2530	605-334-8886	605-334-0112	info@plainsbuilders.com
SD Assoc. of Plumbing/Heating		707 E 41st St #220	Sioux Falls	SD	57105	605-271-7255		phcc@midco.net
Sioux Falls Builders Exchange		1418 "C" Avenue	Sioux Falls	SD	57104	605-357-8687	605-357-8655	info@sfbx.com
Sioux City Construction League Plan Room		3900 Stadium Drive	Sioux City	IA	51101	712-255-9730		office@scaplanroom.com
Watertown Builders Exchange								duanesfloorcovering@iw.net
CONTRACTOR								
Clark Drew Construction	Matt Chandler	302 32nd Ave. S	Brookings	SD	57006	605.692.9063		matt@clarkdrewconstruction.com
Gil Haugan Construction	Gill Haugan III	200 East 60th St. N	Sioux Falls	SD	57104	605.336.6082		Gil3@gilhaugan.com
Great Places Construction	Jason Moberg	3401 W 41st Street	Sioux Falls	SD	57106	888-687-2345		jason.moberg@greatplaceconstruction.com
Hegg Companies	Chris Raabe	4930 S. Western Ave. Suite 101	Sioux Falls	SD	57108	605-518-9094		craabe@heggconstruction.com
Mills Construction	Paul Sahr	1311 Main Ave. S.	Brookings	SD	57006	605.690.4545	605.697.3131	Pauls@buildwithmills.com
OTHER								



Date | Time March 26, 2025 10:00 AM

Project Name | Job # SWN 0509, Waneta Hall Renovate Restrooms EAPC Project 20246780
OSE Project #R0325--15X

Meeting Type Pre-Bid Meeting & Walkthrough

ATTENDEES/INVITEES

Name	Email	Phone	Company
Shawn Crowley	Shawn.Crowley@eapc.net	605-444-1612	EAPC
Paige Riddle	Paige.Riddle@eapc.net	605-444-1610	EAPC
Will Tedmon	wtedmon@guaranteedroofing.com	605 331 5121	GRSD
Zach Zingmark	estimating@hegyconstruction.com	605-270-7718	Hegy Construction
Reed			SDSU
Matt Chandler	matt@clarkdrewconstruction.com	605-690-4519	Clark Drew Const
PAUL SAHR	PAULS@BUILDWITHMILLS.COM	605 690 4545	MILLS
Brent Schneider	brents@buildwithmills.com	605 695 7890	Mills
Todd Baack	todd.baack@state.sd.us	605-280.4360	OSE

**SWN 0509, Waneta Hall Renovate Restrooms
South Dakota State University
Pre-Bid Meeting
10:00am March 26, 2025**

Bid Date: April 03, 2025 at 3:30pm

Meeting Agenda:

- Introductions
 - SDSU: Reed Leibel
 - OSE: Todd Baack
 - EAPC: Shawn Crowley and Paige Riddle
- Bidding Requirements
 - All bids are submitted via OSE electronic bidding platform
 - Bid opening will be public and there is a Zoom link as well on the website
 - Liquidated damages are included on the project
 - \$600 per calendar day after substantial Completion
 - \$300 per calendar day after Final Completion
 - Please direct any further bidding submittal questions to Todd.Baack@state.sd.us
- Owner provided items
 - ERU equipment – Value added to Addendum 01
 - Delivery expected early July 2025
- Project Summary
 - Demolition of existing toilets/showers along with adjacent resident room to create new pod style restrooms, study rooms data room and facilities.
 - New spaces include new finishes, electrical, piping, HVAC including new ERU units and cooling equipment.
 - The existing ballasted roof is also being completely removed and replaced with a new fully adhered white EPDM roofing system.
- Alternates (See section 01 2300 for more details)
 - Alternate 01 – Kitchen Renovation
 - Alternate 02 – Laundry Relocation
 - Alternate 03 – Laundry Upgrades
 - Alternate 04 – Lobby Upgrades
 - Alternate 05 – Corridor Flooring
 - Alternate 06 – Black EPDM



- Project Schedule
 - NTP expected 3-4 weeks after the project award.
 - The building is available May 12, 2025
 - Substantial Completion: August 8, 2025
 - Final Completion: August 22, 2025
- Addenda
 - Addendum 01 was issued on 3/21/2025.
 - Addendum 02 will be issued on 3/28 or 3/31.

Other:

- Notify owner of any hazardous materials discovered for removal by a 3rd party firm.
- Owner will be occupying the apartment unit by the lobby during construction
- A staging area will be provided at the southeast side of Waneta between the existing buildings. SDSU will review if additional staging can be provided in the north parking lot during the summer, however the adjacent apartment building will be demolished concurrent with this project.
- Altro Product Representative: David Dorholt - ddorholt@altro.com
- Project Budget: \$2,250,000

Notes from Walkthrough:

- The perimeter blocking at the parapets was discussed. Most GC's present planned to provide this instead of the roof contractor, but this should be coordinated with bidders.
- Landscaping damaged during construction should be fixed by the G.C. This will be added to Addendum 2.
- Intumescent paint shall only be added where insulation is exposed per Addendum 2.
- It was noted that the finish slab in the restrooms was not installed in the existing chases. The slab will need to be infilled in these locations to meet the finish height. See Keynote AE 51.

SECTION 07 1400 - FLUID-APPLIED WATERPROOFING

PART 1 GENERAL

1.1 SECTION INCLUDES

- A. Elastomeric polyether waterproofing.

1.2 REFERENCE STANDARDS

- A. ASTM C661 - Standard Test Method for Indentation Hardness of Elastomeric-Type Sealants by Means of a Durometer; 2015 (Reapproved 2022).
- B. ASTM D2370 - Standard Test Method for Tensile Properties of Organic Coatings; 2016 (Reapproved 2021).
- C. NRCA (WM) - The NRCA Waterproofing Manual; 2021.

1.3 SUBMITTALS

- A. See Section 01 3000 - Administrative Requirements for submittal procedures.
- B. Product Data: Provide data for membrane, surface conditioner, flexible flashings, joint cover sheet, and joint and crack sealants.
- C. Shop Drawings: Indicate special joint or termination conditions and conditions of interface with other materials.

1.4 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Company specializing in manufacturing products specified in this section, with not less than three years documented experience.

1.5 MOCK-UPS

- A. See Section 01 4000 - Quality Requirements for additional requirements.
- B. Construct mock-up consisting of 50 sq ft of horizontal and vertical fluid-applied waterproofing; to represent finished work including internal and external corners and base flashings.
- C. Locate where directed.
- D. Mock-up may remain as part of work.

PART 2 PRODUCTS

2.1 FLUID-APPLIED WATERPROOFING MATERIALS

- A. Elastomeric Polyether Waterproofing: Single-component, 100 percent solids, cold-flui-applied waterproofing membrane.
 - 1. Cured Thickness: 60 mil, 0.060 inch, minimum.
 - 2. Tensile Strength: 200 psi, minimum, measured in accordance with ASTM D2370.
 - 3. Elongation: 350 percent, minimum, measured in accordance with ASTM D2370.
 - 4. Hardness: 87, minimum, measured in accordance with ASTM C661, using Type 00 durometer.
 - 5. Products:
 - a. Mapei Corporation; Planiseal CR1: www.mapei.com/#sle.

2.2 ACCESSORIES

- A. Sealant for Joints and Cracks in Substrate: Type compatible with waterproofing material and as recommended by waterproofing manufacturer.
- B. Reinforcing Fabric for Between Liquid Applied Membranes (LAM): Polyester fabric, unsaturated spun bond and nonwoven, used as reinforcement between LAM waterproofing systems.
 - 1. Thickness: 7.1 mils, minimum.
 - 2. Products:
 - a. MAPEI LMR Fabric.

PART 3 EXECUTION

3.1 EXAMINATION

- A. Verify existing conditions before starting work.
- B. Verify substrate surfaces are free of frozen matter, dampness, loose particles, cracks, pits, projections, penetrations, or foreign matter detrimental to adhesion or application of waterproofing system.
- C. Verify that substrate surfaces are smooth, free of honeycomb or pitting, and not detrimental to full contact bond of waterproofing materials.
- D. Verify that items penetrating surfaces to receive waterproofing are securely installed.
- E. Where existing conditions are responsibility of another installer, notify Architect of unsatisfactory conditions.
- F. Do not proceed with this work until unsatisfactory conditions have been corrected.

3.2 PREPARATION

- A. Protect adjacent surfaces from damage not designated to receive waterproofing.
- B. Clean and prepare surfaces to receive waterproofing in accordance with manufacturer's instructions; vacuum substrate clean.
- C. Do not apply waterproofing to surfaces unacceptable to waterproofing manufacturer.
- D. Fill non-moving joints and cracks with a filler compatible with waterproofing materials.

3.3 INSTALLATION

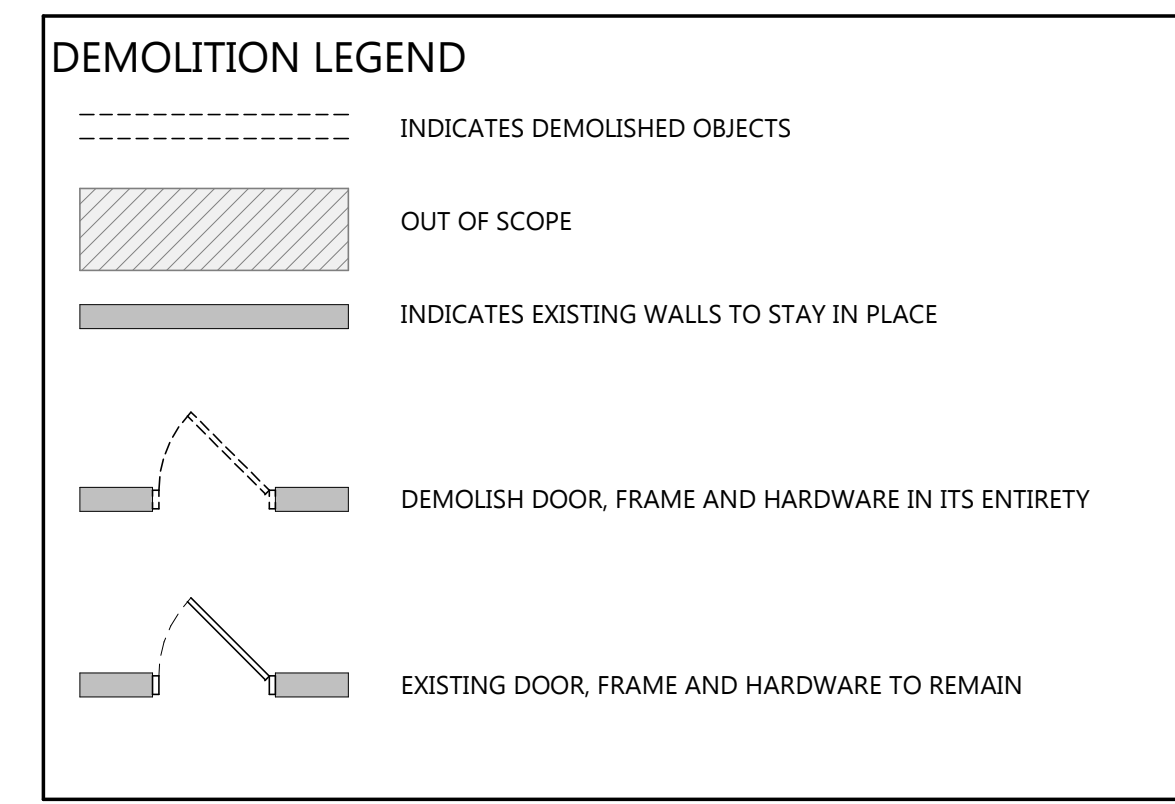
- A. Install waterproofing to specified minimum thickness in accordance with manufacturer's instructions and NRCA (WM) applicable requirements.
 - 1. Use reinforced system method with fabric in accordance with manufacturer's instructions.
- B. Seal membrane and flashings to adjoining surfaces.

3.4 PROTECTION

- A. Do not permit traffic over unprotected or uncovered membrane.

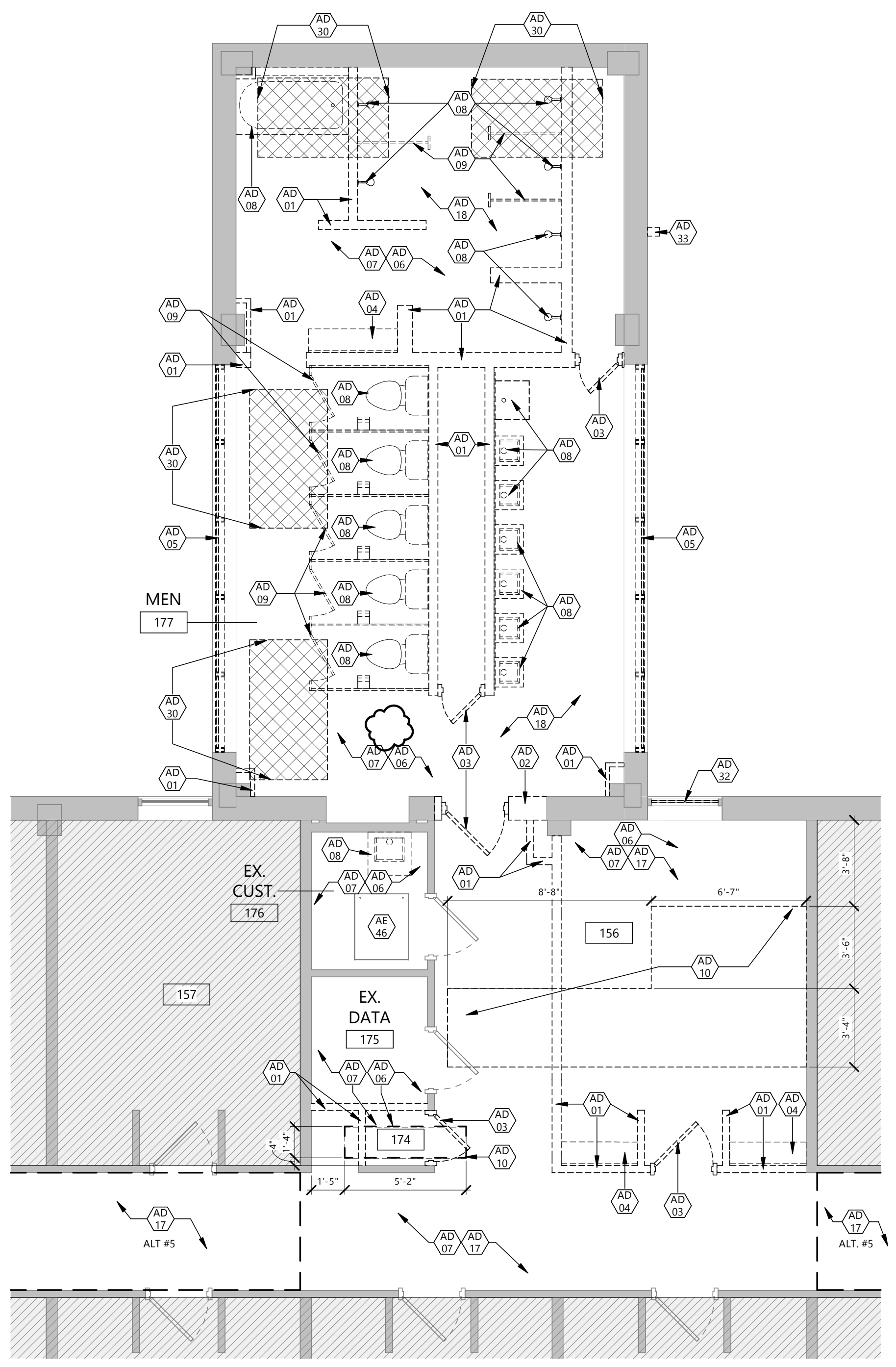
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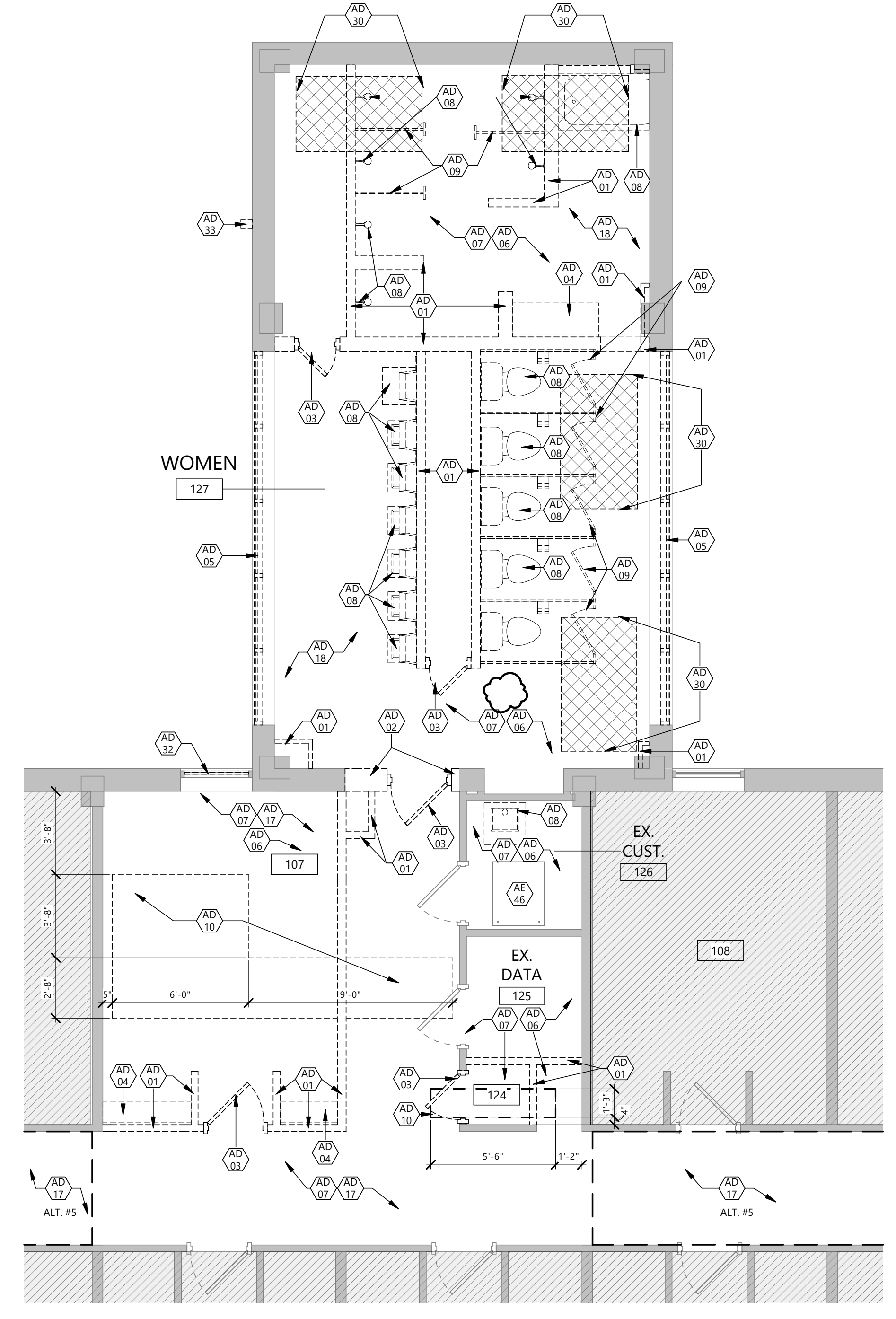


- ### GENERAL DEMOLITION NOTES
1. DASHED LINES INDICATE DEMOLITION ITEMS. SOLID LINES INDICATE EXISTING ITEMS TO REMAIN. ALSO REFER TO SHEET A001 FOR SYMBOLS AND ABBREVIATIONS.
 2. ALL DEMOLITION WORK AND TEMPORARY INSTALLATIONS SHALL BE ACCOMPLISHED AS SPECIFIED.
 3. CONTRACTOR TO PROVIDE SECURE DOORS IN TEMP PARTITIONS AS NECESSARY TO MAINTAIN BUILDING SECURITY. PROVIDE CLEAR ROUTES TO EXITS FROM WORK AREA.
 4. FIELD VERIFY EXISTING CONDITIONS OF EACH FLOOR AND AREA TO BE DEMOLISHED.
 5. DEMOLITION PLANS REPRESENT APPROXIMATE LOCATION OF EXISTING WALLS TO BE DEMOLISHED. FIELD VERIFY TYPE OF CONSTRUCTION AND HEIGHT OF WALLS. PLANS DO NOT NECESSARILY INDICATE ALL DEMO WALLS, COUNTERS, HANDRAILS, WALL PROTECTION, CLOSETS, SINKS, ETC. PRIOR TO DEMOLITION FIELD VERIFY THAT WALLS TO BE REMOVED DO NOT PROVIDE SUPPORT FOR EXISTING BUILDING ELEMENTS AND EXISTING CONSTRUCTION TO REMAIN. NOTIFY A/E IF DEMOLITION WALLS SUPPORT EXISTING BUILDING ELEMENTS.
 6. REMOVE WALL COVERINGS ON EXISTING WALLS TO REMAIN THAT FACE AREAS OF DEMOLITION. REMOVAL SHALL INCLUDE ANY RESIDUAL MATERIAL AFTER DEMOLITION, I.E. PIECES OF WALL COVERING OR BACKING. REMOVAL OF WALL COVERINGS IS TO BE DONE W/O DAMAGING THE EXISTING WALL SURFACE TO REMAIN. ALSO REMOVE WALL DEVICES AND ITEMS MOUNTED TO WALLS.
 7. FIELD VERIFY EXISTING MATERIALS IN AREAS OF DEMOLITION.
 8. REMOVE ALL MECHANICAL AND ELECTRICAL EQUIPMENT, DEVICES AND ASSOCIATED ELEMENTS AS INDICATED IN MECH AND ELEC DRAWINGS. FIELD VERIFY THE PRESENCE OF MECHANICAL AND ELECTRICAL PIPES, CONDUIT, ETC. IN ALL WALLS TO BE DEMOLISHED.
 9. CONTRACTOR TO PROVIDE DEMOLITION IMPLEMENTATION PLANS AND SCHEDULE. NOTIFY OWNER IF ANY OPERATIONAL DISRUPTIONS OF ADJACENT OCCUPANTS ARE REQUIRED TO PERFORM NEW WORK (INCLUDING BUT NOT LIMITED TO: MECHANICAL, PLUMBING, FIRE SUPPRESSION, AND ELECTRICAL DISRUPTIONS).
 10. CONTAIN DUST AND DEBRIS WITHIN THE DEMOLITION AREA.
 11. DEMOLISH AND REMOVE DOORS, VINYL BASE, CONDUIT, WIRING, DUPLEXES, TELEPHONE OUTLETS, CABLES, SHELVING, METAL STUDS, AND GYPSUM BOARD WALLS, CLOSETS, CABINETS, FILES, COUNTERS, WOOD MOULDING, SHELVES AND ENCLOSURES WHERE APPLICABLE.
 12. DEMOLISH AND REMOVE CARPET, PAD, TACK STRIP, AND RESILIENT BASE. REMOVE ALL FLOOR MATERIALS INCLUSIVE OF SETTING BEDS, SUBFLOOR MATERIAL ETC. REMOVE MASTIC TO PROVIDE A CLEAN FLOOR THAT IS ACCEPTABLE TO THE SUBCONTRACTOR INSTALLING NEW FINISH MATERIAL SPACES RECEIVING WALL DEMOLITION WILL ALSO HAVE FLOOR FINISH DEMOLITION UNO.
 13. DEMOLISH AND REMOVE SUSPENDED ACOUSTIC LAY-IN, SPLINE, OR GYPSUM/PLASTER CEILING INCLUSIVE OF HANGERS AND CARRYING CHANNELS, WIRES, CABLES, CONDUIT, ADHERED CEILING TILES, FLEX CONDUIT, ELECTRICAL BOXES, SMOKE DETECTORS, LIGHT FIXTURES, AND WIRING, DUCT WORK, PIPING AND SUPPORT HANGERS. CUT HANGERS FLUSH. SPACES RECEIVING WALL DEMOLITION WILL ALSO HAVE CEILING DEMOLITION UNO.
 14. PRIOR TO COMMENCEMENT OF DEMOLITION OPERATIONS, CONTRACTOR SHALL IDENTIFY ALL UTILITIES TO REMAIN.
 15. DEMOLITION FOR THE FLOOR AREAS SHALL ENCOMPASS THE SPACE FROM THE TOP OF THE CONCRETE FLOOR TO THE UNDERSIDE OF THE EXISTING INTERSTITIAL STRUCTURE ABOVE UNLESS NOTED OTHERWISE.
 16. ALL DEMOLITION MATERIALS AND DEBRIS SHALL BE DISPOSED OF ACCORDING TO FEDERAL STATE AND LOCAL REGULATIONS.
 17. CONTRACTOR SHALL PERFORM WORK IN A MANNER THAT DOES NOT DAMAGE THE EXISTING STRUCTURE. DEMOLITION SHALL NOT COMPROMISE THE STRUCTURAL INTEGRITY OF ANY WALLS, FLOORS, CEILING, SUPPORTS, STRUCTURE, ETC. TO REMAIN.
 18. AT LOCATIONS WHERE EXISTING WALLS ARE TO BE REMOVED NEAR EXISTING WALLS TO REMAIN, PERFORM DEMOLITION WITHOUT DISTURBING EXISTING ELEMENTS TO REMAIN. WALLS TO REMAIN SHALL BE INTACT AND HAVE A NEAT, FINISHED SURFACE WHERE EXPOSED.
 19. CONTRACTOR TO PROVIDE TEMPORARY GUARDS AND PROTECTION AROUND EXPOSED FLOOR AND ROOF OPENINGS AND SHAFTS PER CODE.
 20. TYPICAL DOOR REMOVAL INCLUDES HARDWARE AND FRAME UNO.
 21. G.C. TO REMOVE CONCRETE SLAB AS REQUIRED FOR UNDERFLOOR WORK. COORDINATE EXTENTS OF REMOVAL WITH M.C. AND E.C. TRENCHING AND BACKFILLING FOR UNDERFLOOR ITEMS SHALL TO BE PERFORMED BY M.C. OR E.C. - G.C. TO INSTALL NEW FLOOR SLAB AFTER SUBBASE IS RESTORED AND ACCEPTABLE TO G.C.
 22. THE OWNER HAS FIRST RIGHT TO REFUSAL FOR SALVAGEABLE ITEMS. RELOCATED SUCH SALVAGED ITEMS TO STORAGE LOCATION AS OWNER MAY DESIGNATE WITHIN PROJECT SITE.
 23. ALL EXISTING MOVABLE FURNITURE/EQUIPMENT WILL BE MOVED BY OWNER PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED.
 24. DEMOLITION ITEMS SHALL INCLUDE, BUT NOT BE LIMITED TO ITEMS IDENTIFIED ON THESE DRAWINGS. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND BE FAMILIAR WITH THE WORK REQUIRED.

- ### KEYNOTE LEGEND:
- <<< INDICATES KEYNOTE ON PLAN
 - AD 01 DEMOLISH EXISTING WALL PARTITION IN ITS ENTIRETY.
 - AD 02 DEMOLISH PORTION OF WALL PARTITION AND FINISHES AS NEEDED TO ACCOMMODATE NEW OPENING.
 - AD 03 DEMOLISH DOOR & FRAME IN THEIR ENTIRETY.
 - AD 04 DEMOLISH CASEWORK IN ITS ENTIRETY, COORDINATE WITH MECH FOR REMOVAL OF PLUMBING WHERE APPLICABLE.
 - AD 05 DEMOLISH EXISTING WINDOW AND SLATE SILL IN THEIR ENTIRETY.
 - AD 06 DEMOLISH EXISTING WALL FINISHES IN THEIR ENTIRETY. PREPARE WALLS TO RECEIVE NEW FINISHES.
 - AD 07 DEMOLISH CEILING, FRAMING & CEILING-MOUNTED FIXTURES IN THEIR ENTIRETY. SEE MECH & ELEC FOR EXTENTS OF RELATED SYSTEMS DEMOLITION
 - AD 08 REMOVE EXISTING PLUMBING AND ASSOCIATED WALL-MOUNTED ACCESSORIES IN THEIR ENTIRETY, SEE PLUMBING FOR EXTENTS OF RELATED SYSTEMS DEMOLITION
 - AD 09 REMOVE EXISTING PARTITION SYSTEM
 - AD 10 DEMOLISH PORTION OF FLOOR SLAB FOR PLUMBING INSTALLATION. COORDINATE EXACT SIZE AND LOCATIONS WITH MC. SEE A021 FOR SLAB INFILL.
 - AD 17 DEMOLISH EXISTING FLOORING AND BASE IN THEIR ENTIRETY. PREPARE FLOOR TO RECEIVE NEW FINISHES.
 - AD 18 DEMOLISH EXISTING RECESSED CERAMIC TILE AND ASSOCIATED MORTAR. PREP SURFACE TO RECEIVE NEW FINISHES.
 - AD 30 REMOVE ADDITIONAL TOPPING SLAB TO PROVIDE APPROPRIATE DRAINAGE AT NEW SHOWER.
 - AD 32 REMOVE EXISTING GLASS, INT. SILL, AND WDW AC UNIT. EXISTING FRAME TO REMAIN.
 - AD 33 REMOVE EXISTING ROOF DRAIN OUTLET. INFILL COMPLETELY WITH SPRAY FOAM INSULATION AND CAP.
 - AE 46 EXISTING ACCESS DOOR TO TUNNEL TO REMAIN.



2
A101
1/4" = 1'-0"



1
A101
1/4" = 1'-0"

EAPC

Architecture	Engineering
Interior Design	Industrial

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CLIENT
 SOUTH DAKOTA STATE UNIVERSITY

PROJECT DESCRIPTION
 SWN 0509, WANETA HALL RENOVATE RESTROOMS (OSE# R0325--15X)

CITY BROOKINGS
STATE SD

ISSUE DATES

MARK	DESCRIPTION	DATE
2	ADDENDUM 2	03/31/2025
1	ADDENDUM 1	03/21/2025
CD	CONSTRUCTION DOCUMENTS	03/13/2025

PROJECT NO: 20246780
DRAWN BY: PR
CHECKED BY: SC
COPYRIGHT:
 All plans, specifications, computer files, field data, notes and other documents and instruments prepared by EAPC as instruments of service shall remain the property of EAPC. EAPC shall retain all common law, statutory and other reserved rights, including the copyright there to.

STAMP

DRAWING TITLE
 DEMOLITION PLAN - FIRST FLOOR

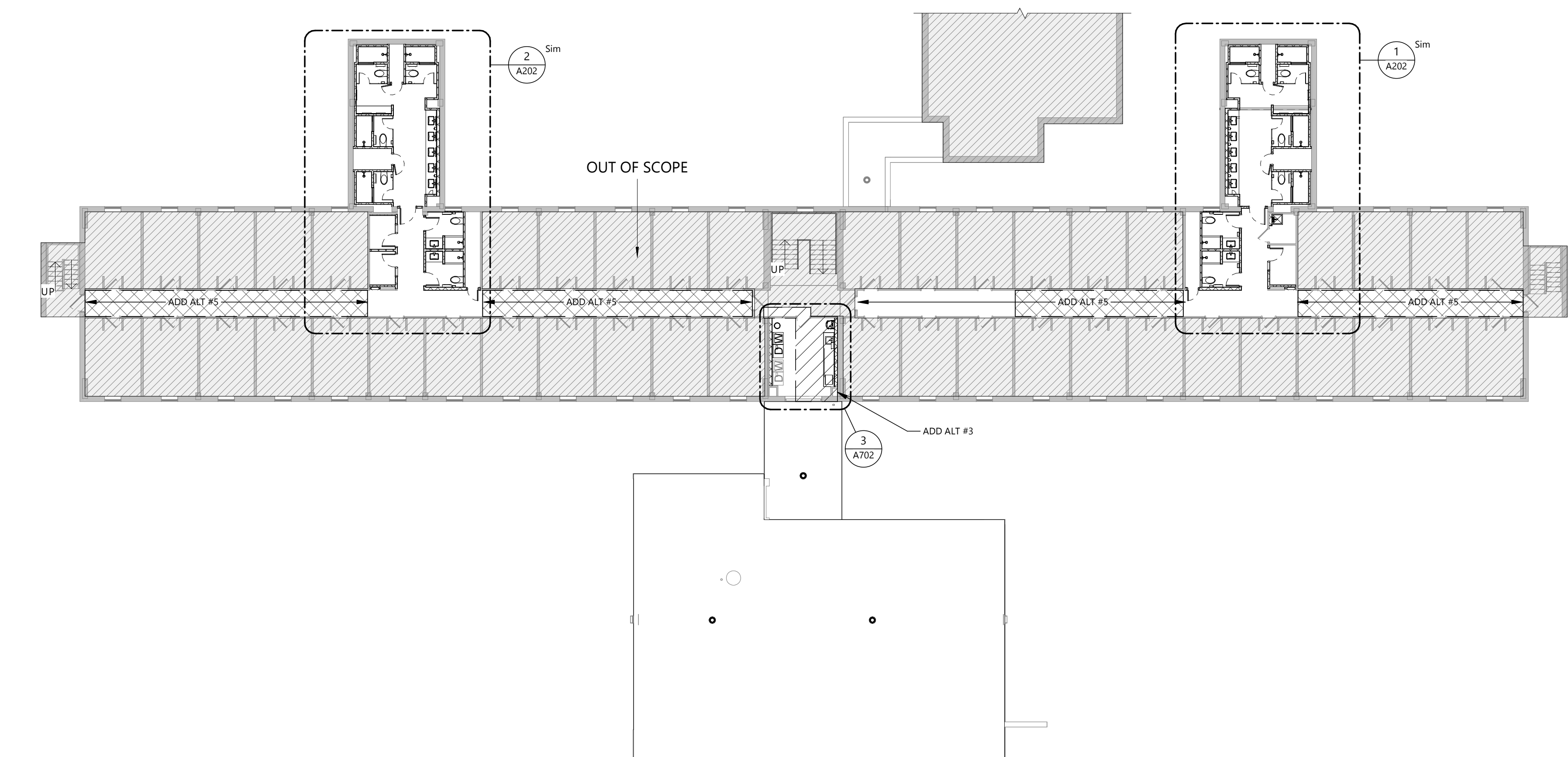
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GENERAL NOTES

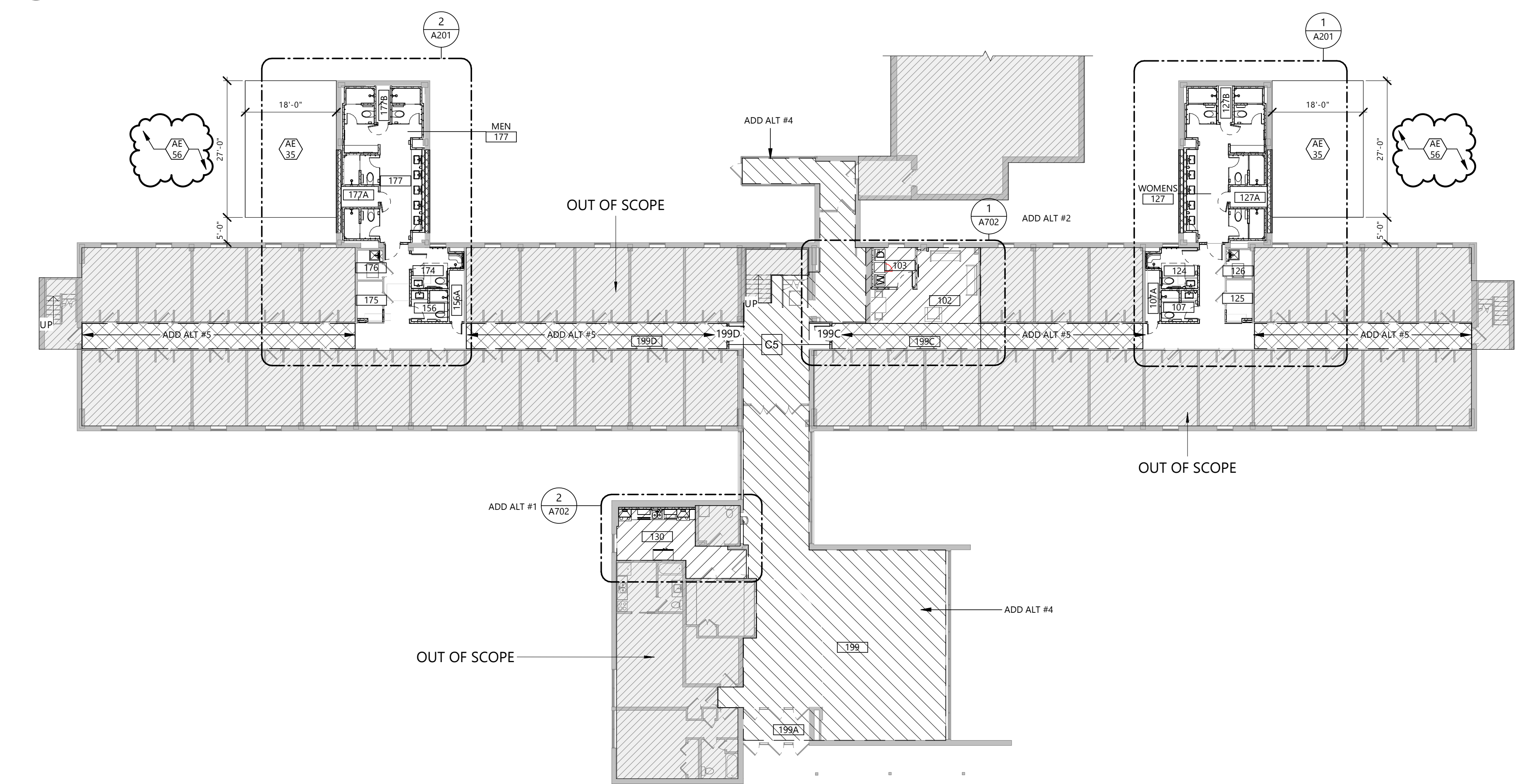
1. GENERAL NOTES APPLY TO ALL DRAWING SETS.
2. SUBCONTRACTORS FOR EACH TRADE ARE ADVISED THAT INFORMATION PERTINENT TO THEIR WORK MAY OCCUR IN OTHER PORTIONS OF THE CONTRACT DOCUMENTS. ALL NOTES ARE TO BE REVIEWED AND APPLIED TO RELATED BUILDINGS DOCUMENTS.
3. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. NOTIFY ARCHITECT IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES OCCUR BEFORE AND / OR DURING CONSTRUCTION.
4. CROSS REFERENCES SHOWN ON DRAWINGS DO NOT NECESSARILY INDICATE ALL LIKE CONDITIONS AND DO NOT LIMIT APPLICATION OF ANY DRAWING OF DETAIL WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
5. REVIEW SPECIFICATIONS FOR INSTRUCTIONS NOT SHOWN ON DRAWINGS. INFORMATION COMMON TO SEVERAL DRAWINGS MAY BE NOTED ON ONLY ONE. CONTRACTOR IS RESPONSIBLE FOR ENTIRE SET OF DOCUMENTS.
6. ALL NEW CONSTRUCTION IS INDICATED BOLD OR FULL TONE.
7. DIMENSIONS AT INTERIOR PARTITIONS ARE TO THE CENTER OF THE WALL UNLESS NOTED OTHERWISE.
8. PROVIDE FIRE RETARDANT WOOD BACKING AND / OR BLOCKING IN WALLS AS REQUIRED AT ALL WALL MOUNTED ITEMS. AT EXISTING WALLS, REMOVE WALL MATERIAL TO INSTALL FIRE-TREATED WOOD BACKING/BLOCKING FOR NEW WALL-MOUNTED ITEMS.
9. DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR TO VERIFY ALL DIMENSIONS & FIELD CONDITIONS PRIOR TO COMMENCING THE WORK.
10. REFER TO INTERIOR FINISH PLANS FOR CORNER GUARD LOCATIONS.
11. PATCH ALL HOLES IN EXISTING SURFACES & WHERE EQUIPMENT HAS BEEN REMOVED OR DEMOLITION HAS OCCURRED & PREPARE WALL SURFACES (PATCH, SKIM COAT, ETC) AS REQUIRED IN PREPARATION FOR NEW FINISHES SCHEDULED. PATCH TO MATCH ADJACENT SURFACES IF NOT SCHEDULED.
12. CAULK ALL COUNTERTOPS, BACKSPASHES & CABINETS AT LOCATIONS WHERE THEY MEET WALL. SEAL ALL CUT-OUTS IN COUNTERTOPS.
13. ALL EXISTING CONSTRUCTION, CABINET WORK, EQUIPMENT, ETC. TO REMAIN INDICATED AS LIGHT OR HALF TONE.
14. ALL PIPING, CONDUITS, & RELATED MECHANICAL & ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN DRYWALL AND/OR PLASTER FURRING AS REQUIRED IN FINISHED AREAS WHETHER SHOWN ON DRAWINGS OR NOT UNLESS OTHERWISE NOTED.
15. SEAL AROUND ALL MECHANICAL & ELECTRICAL EQUIPMENT PENETRATIONS AT RATED WALLS, ABOVE & BELOW CEILINGS, WITH A UL APPROVED FIRE-STOPPING MATERIAL - SEE SPECIFICATIONS.
16. WHEN WALL PARTITIONS OF DIFFERENT RATING INTERSECT, THE HIGHEST RATED PARTITIONS TAKE PRECEDENT.
17. ALL FURNITURE FOR REFERENCE ONLY (SHOWN DASHED) WILL BE OWNER FURNISHED & OWNER INSTALLED.
18. ERECT DUST PROOF PARTITIONS AS REQUIRED BY THE WORK ICRA TO PROTECT ADJACENT AREAS - REFER TO SPEC SECTIONS 01 3532 AND 01 5615.
19. PROVIDE EASED EDGE AT COUNTERTOPS U.N.O.
20. ALL EXISTING FLOOR & WALL OPENING & DEPRESSIONS NOT USED IN THE NEW WORK SHALL BE FILLED OR CLOSED WITH MATERIALS TO MEET REQUIRED FIRE RATING & MATCH ADJACENT FINISHES.
21. ALL CUTTING & PATCHING REQUIRED FOR NEW MECHANICAL & ELECTRICAL WORK IN ALL EXISTING SPACES SHALL BE BY THE RESPECTIVE CONSTRUCTION.
22. MATCH FINISHED WALL THICKNESS WHERE NEW WALLS OCCUR IN LINE WITH EXISTING.
23. ALL EXISTING CEILING & WALL GRILLES, DIFFUSERS, & LIGHTS ETC. TO REMAIN IN AREAS OF CONSTRUCTION SHALL BE CLEANED.
24. VERIFY THAT THE EXISTING WALLS REQUIRING FIRE RATING ARE MAINTAINED, REPAIRED & EXTENDED TO STRUCTURE.
25. ALL NEW WALLS ARE TYPE 'A5' WALL PARTITIONS UNLESS NOTED OTHERWISE. SEE WALL TYPES SHEET A021.
26. REFER TO LIFE SAFETY PLANS AND FLOOR PLANS FOR LOCATION OF REQUIRED FIRE WALLS.
27. REFER TO ELEVATIONS FOR WALL MOUNTED EQUIPMENT. PROVIDE IN-WALL BLOCKING AS REQUIRED.
28. ALL COUNTERTOPS TO BE SSF-1 UNO, WITH THE EXCEPTION OF BATHROOMS TO BE QTZ-1.
29. ALL CASEWORK TO BE PLAM-2 UNO.
30. TYPICAL ELEVATIONS APPLY TO ALL RESTROOM AND HALLWAY RESTROOM PODS.

KEYNOTE LEGEND:

- << << INDICATES KEYNOTE ON PLAN
- AE 35 CONCRETE ERU PAD TO BE PROVIDED BY G.C. 8" SLAB WITH #4 REBAR AT 12" OC EACH WAY AND THICKENED SLAB EDGES AT 14" DEEP BY 24" WIDE. PROVIDE 12" GRANULAR FILL, COMPACTED TO A MINIMUM OF 95% OF STANDARD PROTOR, BELOW SLAB. SLOPE CONCRETE AT 1/8" PER 12" AS INDICATED ON PLAN. SEE OVERALL PLAN ON A200 FOR DIMENSIONS TO BE INCLUDED ON BOTH WINGS OF THE BUILDING. REGRADE AROUND PAD TO PROVIDE PROPER DRAINAGE AND RESEED.
- AP 01 ALL EXISTING LANDSCAPING/PAVEMENT AROUND THE BUILDING SHALL BE PROTECTED DURING CONSTRUCTION TO THE GREATEST EXTENT POSSIBLE. ANY DAMAGE DONE TO EXISTING LANDSCAPING/PAVEMENT SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.



2 OVERALL PLAN - SECOND / THIRD FLOORS
A200 1/16" = 1'-0"



1 FIRST FLOOR OVERALL PLAN
A200 1/16" = 1'-0"

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CITY BROOKINGS
STATE SD

ISSUE DATES

MARK	DESCRIPTION	DATE
2	ADDENDUM 2	03/31/2025
1	ADDENDUM 1	03/21/2025
CD	CONSTRUCTION DOCUMENTS	03/13/2025

PROJECT NO: 20246780

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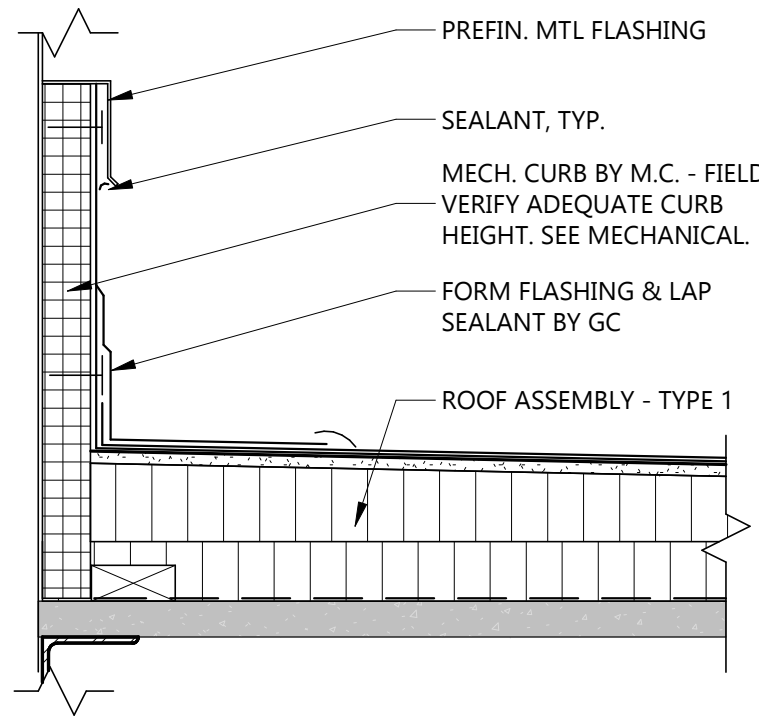
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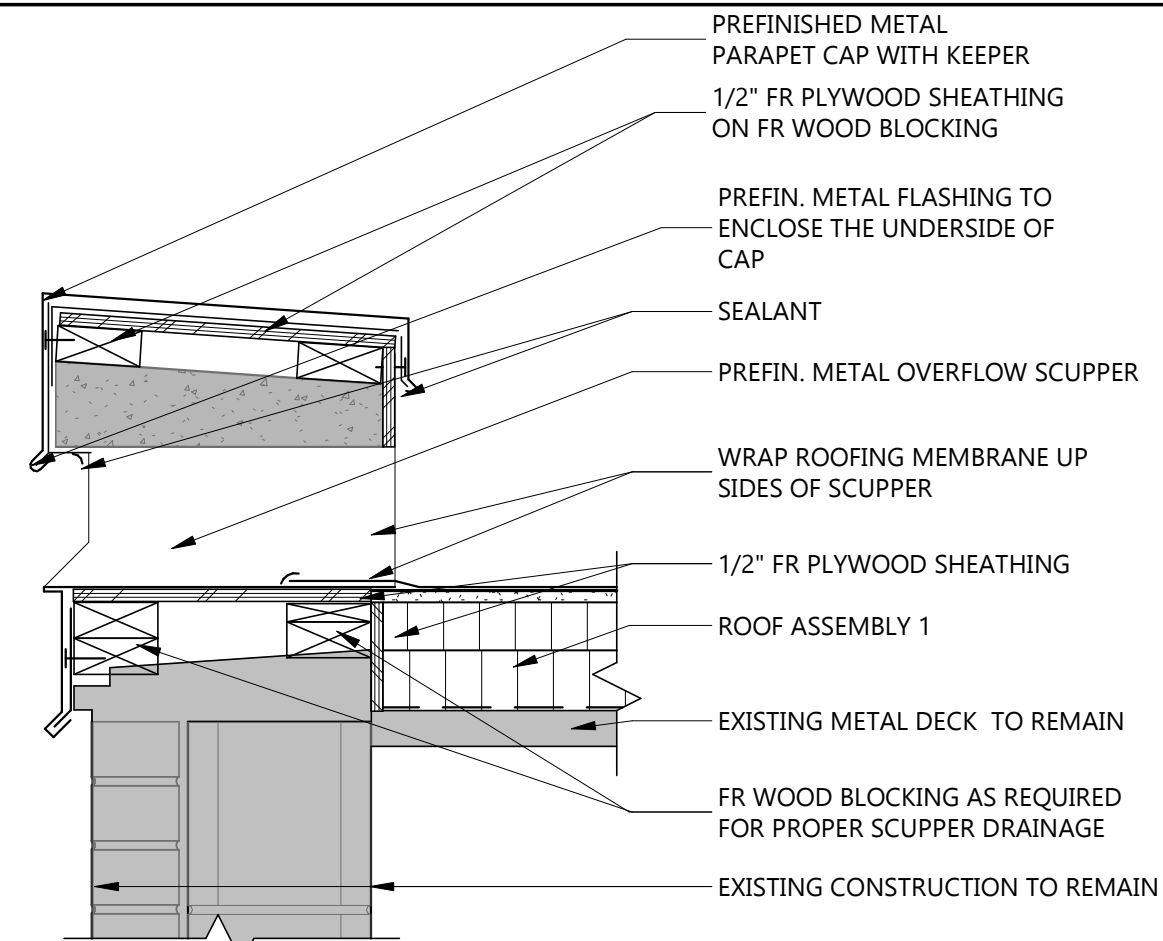


DRAWING TITLE
OVERALL PLANS

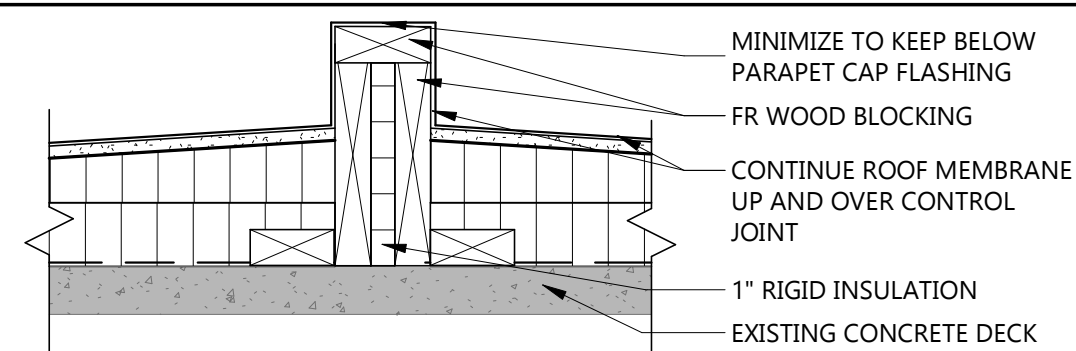
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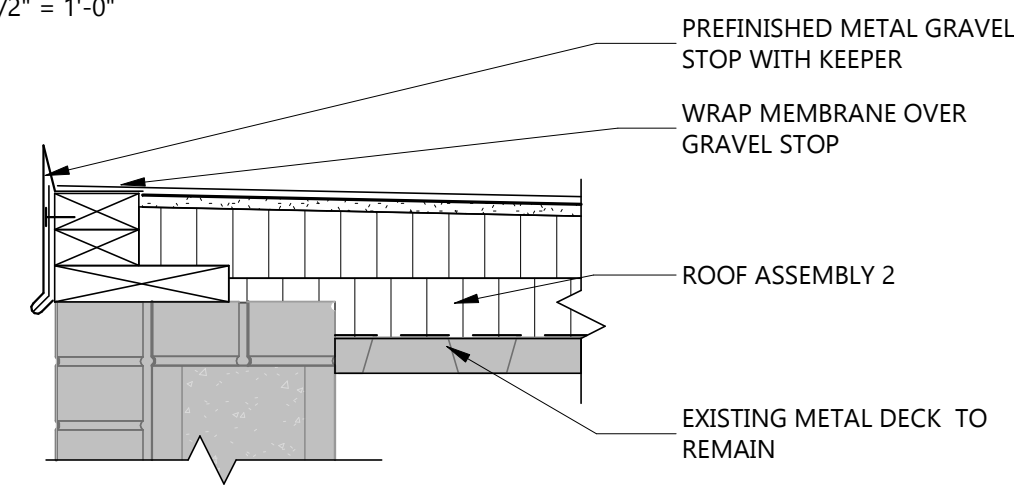
10 DETAIL - ROOF CURB TYP
1 1/2" = 1'-0"



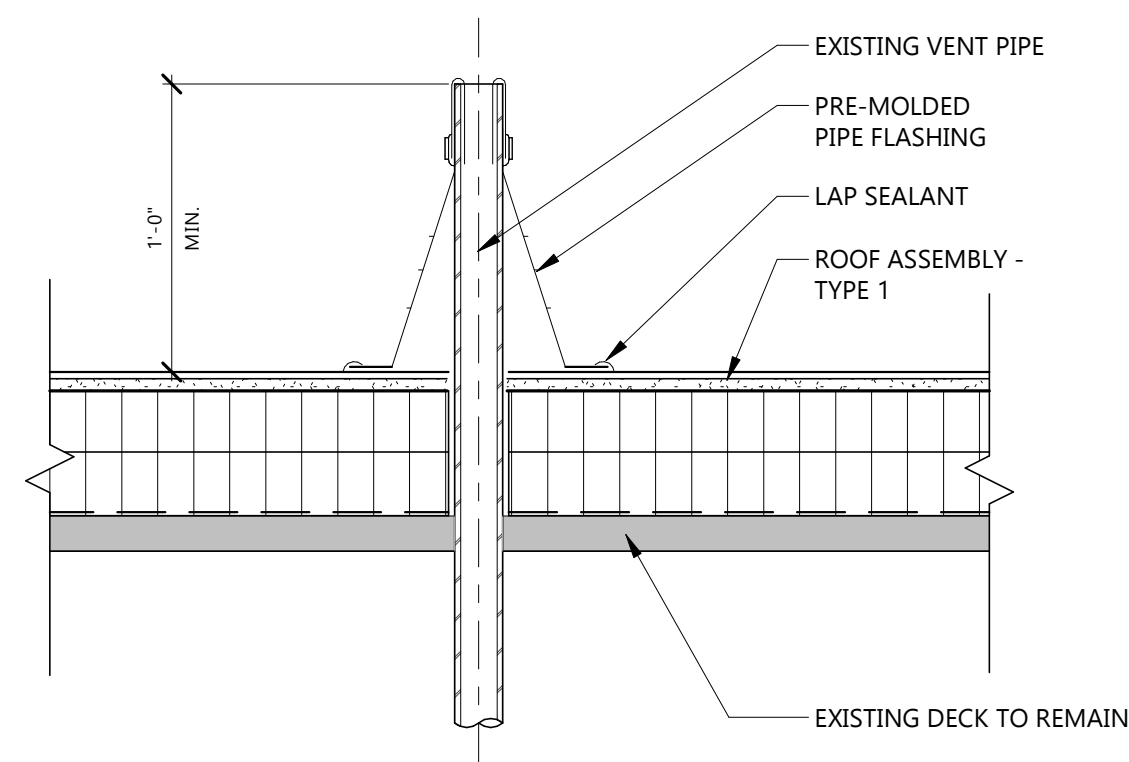
8 DETAIL - SCUPPER OPENING
1 1/2" = 1'-0"



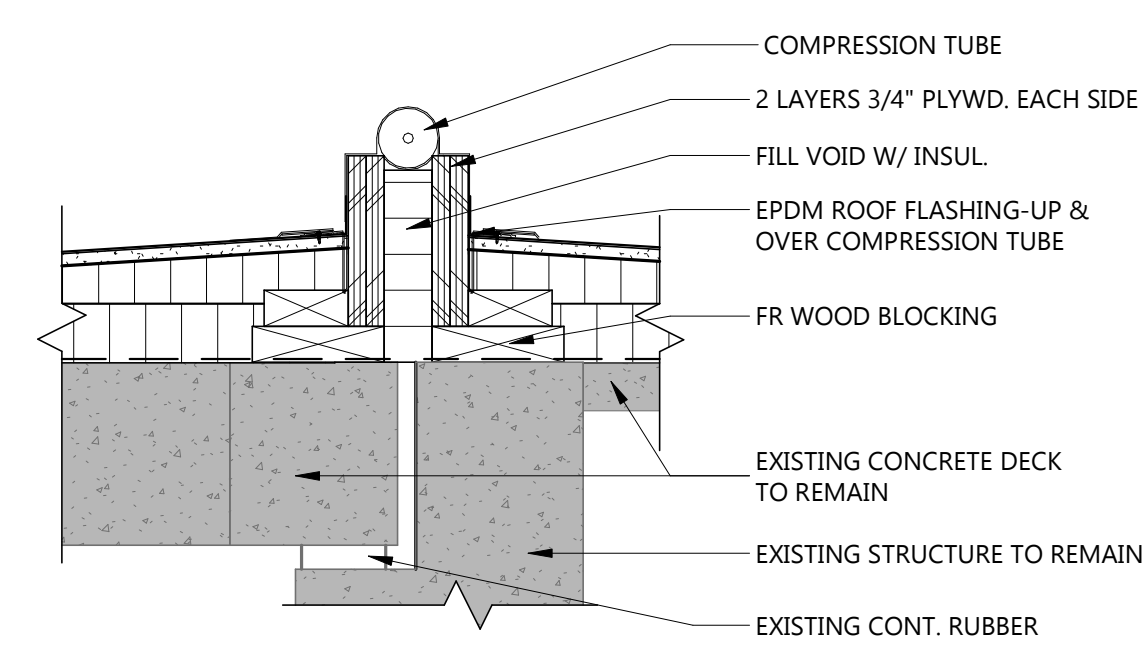
5 DETAIL - ROOF CONTROL JOINT
1 1/2" = 1'-0"



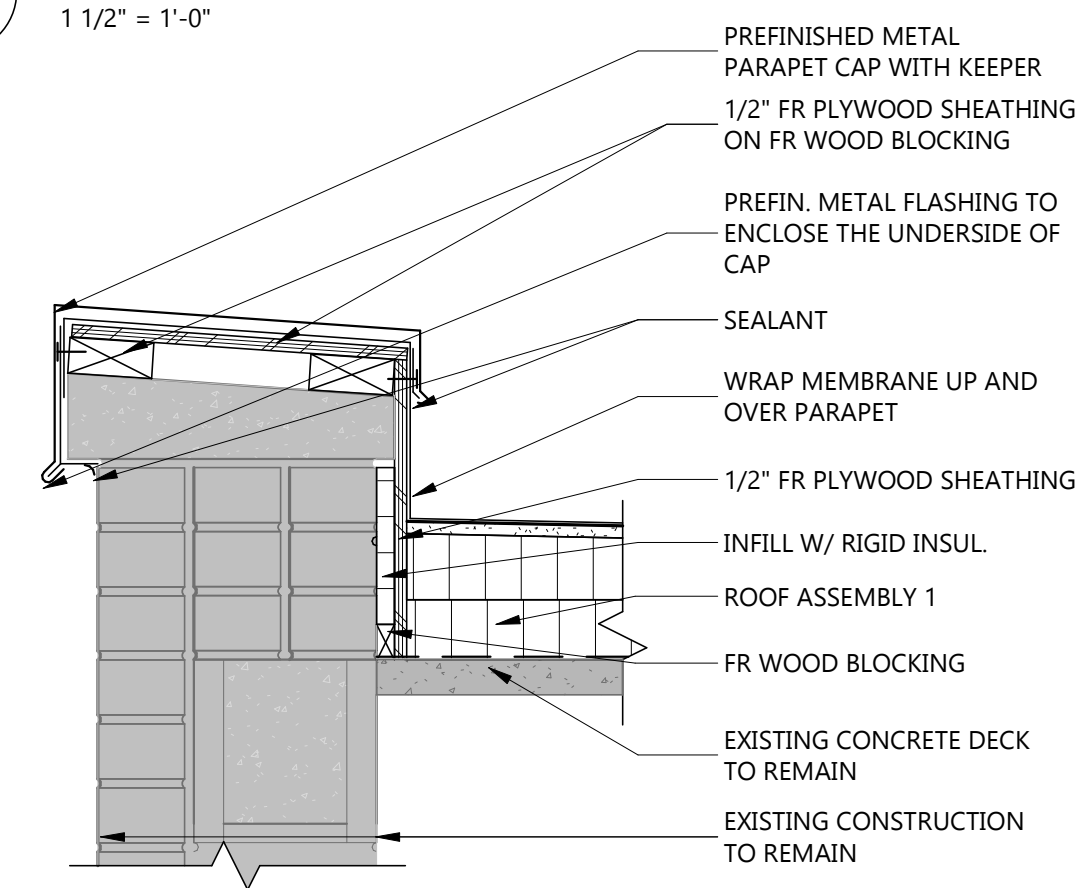
4 DETAIL - GRAVEL STOP TYP.
1 1/2" = 1'-0"



9 DETAIL - PLUMBING VENT THROUGH ROOF
1 1/2" = 1'-0"

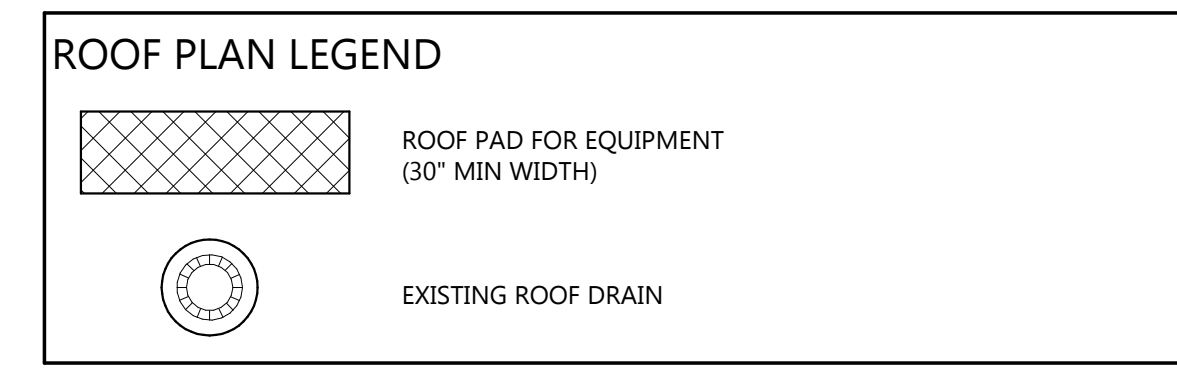


6 DETAIL - EXPANSION JOINT
1 1/2" = 1'-0"

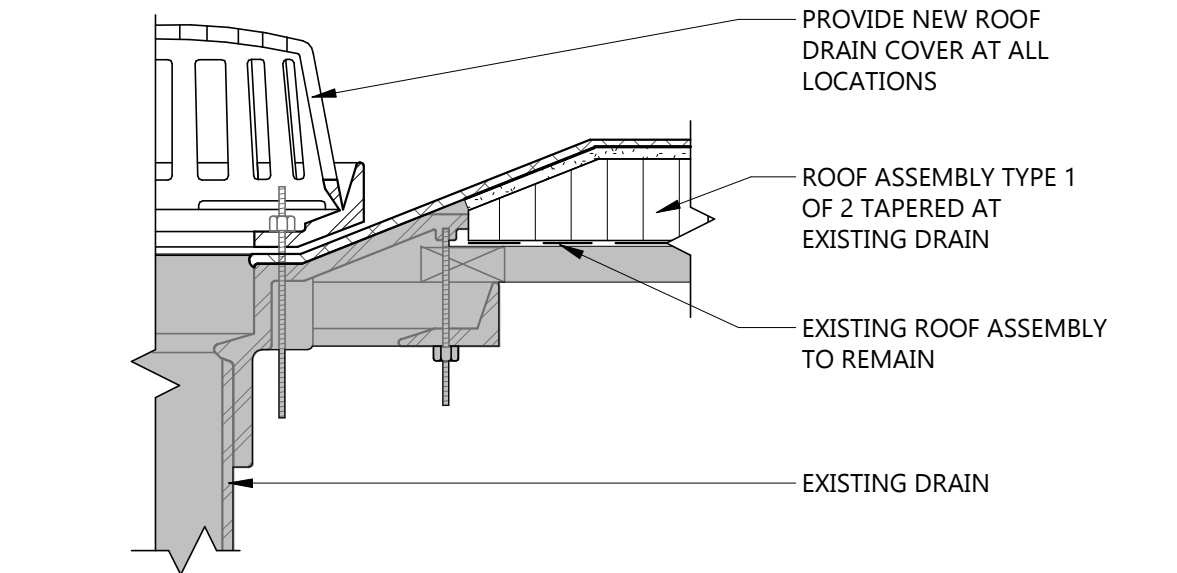


3 DETAIL - HIGH PARAPET TYP
1 1/2" = 1'-0"

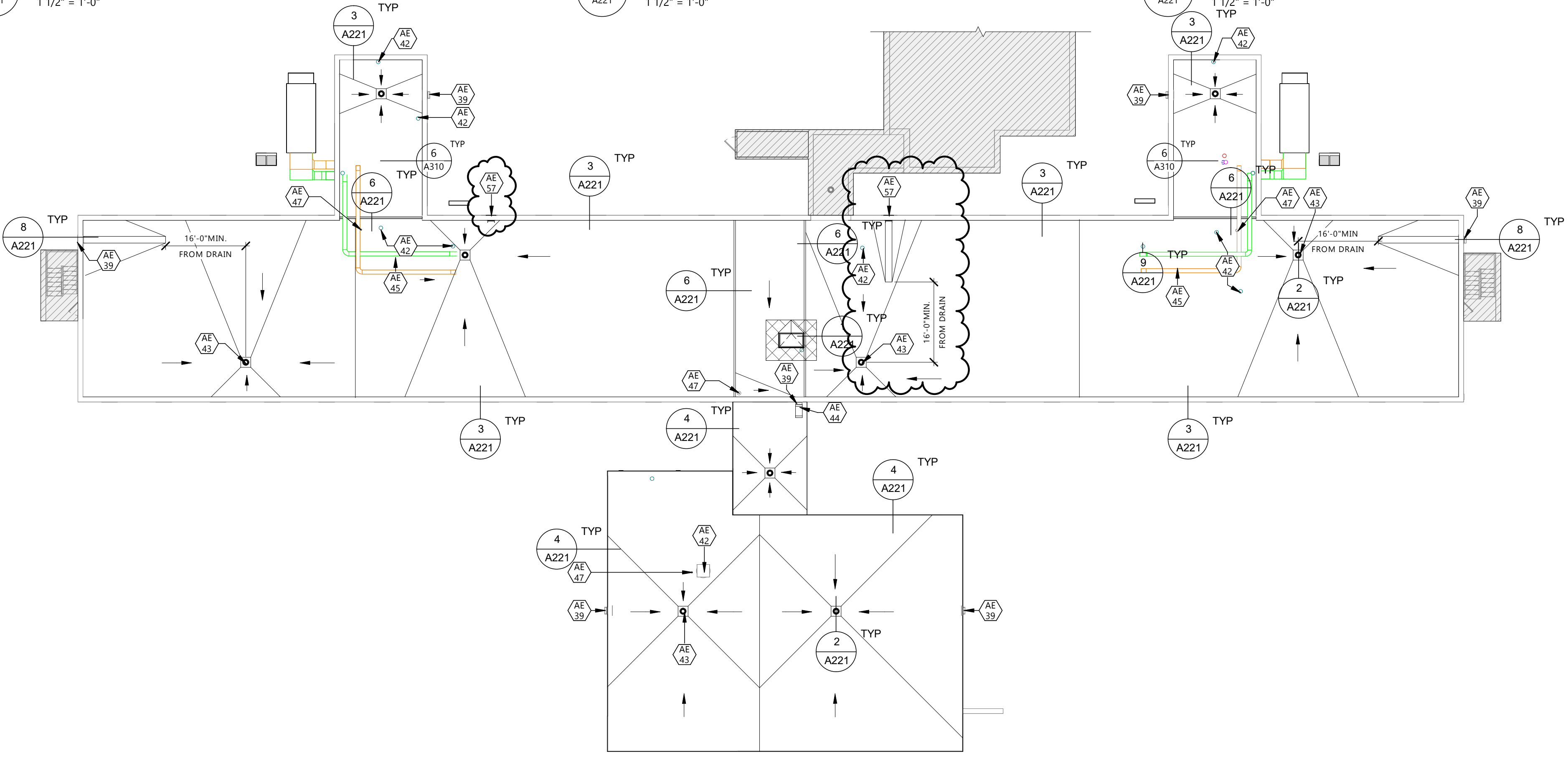
- GENERAL NOTES**
- ROOF SYSTEM SHALL BE A 60 MIL WHITE EPDM ROOFING SYSTEM OVER 2.5 INCH BASE LAYER POLYISOCYANURATE ROOF INSULATION W/ STAGGERED SEAMS. SYSTEM SHOULD QUALIFY FOR A MIN. 10-YEAR WARRANTY. APPROXIMATE SLOPES ARE SHOWN ON THE PLANS FOR REFERENCE ONLY. VERIFY THAT EXISTING SLOPED INSULATION PROVIDES POSITIVE DRAINAGE AND NOTIFY ARCHITECT IF THERE ARE ANY AREAS OF CONCERN.
 - THE ROOF SLOPE SHALL BE SLOPED 1/8" PER FOOT UNLESS INDICATED OTHERWISE OR AS REQUIRED FOR CRICKETS AND SADDLES. SLOPE DIRECTION IS DOWN AS INDICATED AND SLOPE IS NOTED IN DISTANCE PER FOOT. ROOF SLOPE IS CREATED BY TAPERED INSULATION UNLESS NOTED OTHERWISE.
 - PROVIDE CHAMFERS, CRICKETS, AND SADDLES AS REQUIRED AT INSULATION HEIGHT TRANSITIONS AND OBSTRUCTIONS TO DRAINAGE.
 - PROVIDE ROOF WALKWAY PADS MIN 30" WIDE IN WALKWAY AREAS TO AND AROUND MECHANICAL EQUIPMENT, AND AT TOP AND BOTTOM OF LADDER LOCATIONS AS PER THE ROOFING MANUFACTURER'S ROOFING WARRANTY REQUIREMENTS.
 - INSTALL ROOF DRAINS IN ACCORDANCE WITH NCRA ROOFING MANUAL. INSTALL NEW ACCESSORIES AS REQUIRED PER ORIGINAL MANUFACTURER.
 - PROVIDE WATERTIGHT FLASHING AROUND ALL ROOF CURBS, PIPES, AND OTHER PENETRATIONS THAT ARE TO REMAIN.
 - CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS, CONDITIONS, AND PENETRATIONS ON SITE.
 - ALL EXISTING LANDSCAPING/PAVEMENT AROUND THE BUILDING SHALL BE PROTECTED DURING CONSTRUCTION TO THE GREATEST EXTENT POSSIBLE. ANY DAMAGE DONE TO EXISTING LANDSCAPING/PAVEMENT SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 - PROVIDE BLACK EPDM IN LIEU OF WHITE EPDM AS ALTERNATE #6.



- KEYNOTE LEGEND:**
- AE 39 MAINTAIN PROPER DRAINAGE TO EXISTING THROUGH-WALL SCUPPER
 - AE 42 VENT THROUGH ROOF - SEE PLUMBING
 - AE 43 ROOF DRAIN - SEE PLUMBING
 - AE 44 INSTALL NEW DOWNSPOUT
 - AE 45 PROVIDE PRE-MOLDED PIPE FLASHING SIMILAR TO DETAIL 9/A221. DUCTWORK SUPPORTS CONSIST OF 2 LEGS APPROXIMATED EVERY 8' O.C. COORDINATE WITH M.C.
 - AE 47 EXISTING PLUMBING VENT TO REMAIN
 - AE 57 CREATE OPENING IN EXISTING WALL FOR NEW SCUPPER. MAINTAIN PROPER DRAINAGE AS REQUIRED.

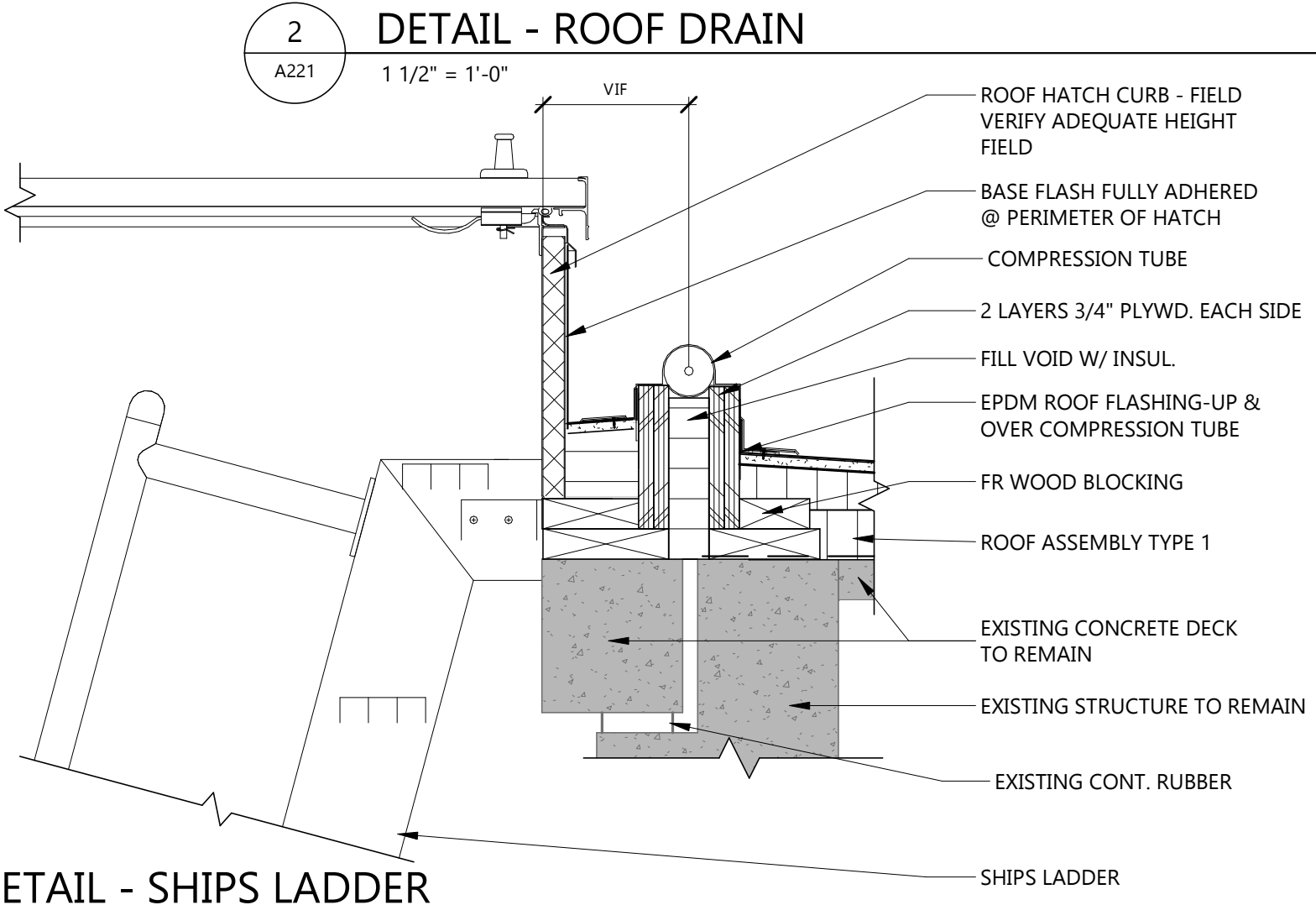


2 DETAIL - ROOF DRAIN
1 1/2" = 1'-0"



7 ROOF PLAN
1/16" = 1'-0"

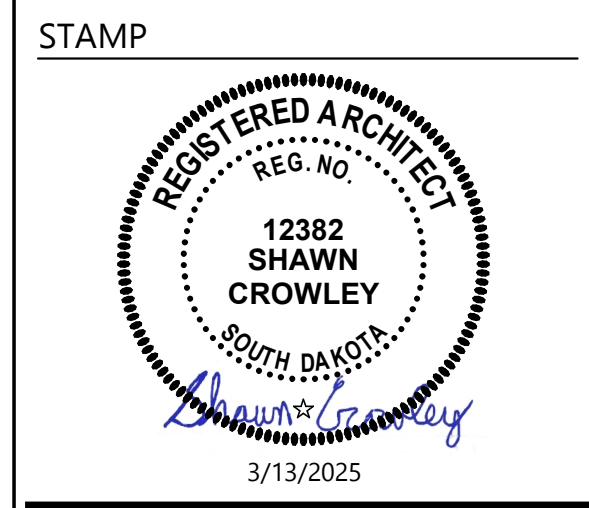
1 DETAIL - SHIPS LADDER
1 1/2" = 1'-0"



MARK	DESCRIPTION	DATE
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CD	CONSTRUCTION DOCUMENTS	03/13/2025

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ROOF PLAN

- GENERAL CEILING NOTES**
1. PROVIDE GYPSUM WALL BOARD AND METAL STUD BULK HEADS WHERE CEILINGS OF DIFFERENT HEIGHTS ABUT. DO NOT BUILD BULKHEADS OF ACOUSTICAL CEILING MATERIALS UNLESS SPECIFICALLY DETAILED.
 2. REFER TO MECHANICAL DRAWINGS FOR QUANTITY AND TYPE OF DIFFUSERS, RETURN GRILLES AND EXHAUST GRILLES, ETC. SCRIBE CEILING MATERIALS FOR A TIGHT FIT.
 3. REFER TO ELECTRICAL DRAWINGS FOR QUANTITY AND TYPE OF LIGHTS, SPEAKERS, DETECTORS, POWER OUTLETS, ETC. SCRIBE CEILING MATERIALS FOR A TIGHT FIT. WHERE DEVICES ARE NOT SHOWN ON PLAN, FIELD VERIFY LOCATION AND QUANTITY PRIOR TO REMOVAL. THESE DEVICES WILL BE RELOCATED INTO NEW PLAN.
 4. FIRE SPRINKLER CONTRACTOR IS REQUIRED TO PROVIDE FINAL DESIGN OF ENTIRE SPRINKLER SYSTEM FOR THE PROJECT AREA. SPRINKLER CONTRACTOR IS REQUIRED TO SUBMIT ALL REQUIRED INFORMATION TO REVIEW AGENCIES FOR APPROVAL AND PERMITS.
 5. CONTRACTOR TO FIELD VERIFY EXTENT OF CEILING REPLACEMENT. CONTRACTOR TO COORDINATE WITH ALL TRADES. CONTRACTOR'S OPTION TO REPLACE CEILING TO OWNER'S SATISFACTION OR TO PROVIDE NEW CEILING MATERIAL REPAIR ANY EXISTING AREAS DAMAGED BY CONSTRUCTION OF THIS PROJECT.
 6. WHERE CEILINGS ARE INDICATED TO BE EXPOSED TO STRUCTURE, PAINT ALL UNFINISHED MATERIALS OVERHEAD UNO, INCLUDING, BUT NOT LIMITED TO: ROOF DECKING, JOISTS, DUCTS, PIPING, CONDUIT, ETC. SEE FINISHES SHEET FOR PAINT.
 7. GENERAL CONTRACTOR TO COORDINATE CEILING MOUNTED EQUIPMENT SUPPORT REQUIREMENTS, LOCATIONS, DIMENSIONS, ETC. WITH EQUIPMENT SUPPLIER AND OWNER PRIOR TO INSTALLATION.
 8. CEILING MOUNTED ITEMS SUCH AS LIGHT FIXTURES, GRILLES, DIFFUSERS, SPEAKERS, EXIT LIGHTS, ETC. SHALL BE LOCATED IN THE CENTER OF CEILING PANELS, GYPSUM BOARD SOFFITS, AND/OR PLASTER SOFFIT BAYS UNLESS NOTED OTHERWISE. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS.
 9. FINISHED GYPSUM BOARD SOFFITS SHALL EXTEND 1" BEYOND FACE AND EXPOSED ENDS OF WALL CABINETS, FULL-HEIGHT CABINETS, ETC. UNLESS NOTED OTHERWISE. COORDINATE CABINET DIMENSIONS WITH SUPPLIER GYPSUM BOARD FASCIA/SOFFIT DETAILS ARE REFERENCED FROM THE REFLECTED CEILING PLAN.
 10. IN REMODELING WORK IN EXISTING ACOUSTIC CEILING TILE SUSPENSION SYSTEM REMOVE EXISTING PANELS, CUT AS REQUIRED FOR CONSTRUCTION, AND REINSTALL. REPLACE DAMAGED OR SOILED PANELS WITH ACOUSTIC CEILING TILE TO MATCH EXISTING.
 11. VERTICAL FACE OF SOFFITS THAT ALIGN WITH WALL TO RECEIVE ADJACENT WALL FINISH UNLESS NOTED OTHERWISE.
 12. PROVIDE SMOOTH TRANSITION BETWEEN EXISTING AND NEW GYP BD CEILING WHERE NEW GYP BD MEETS EXISTING AT SAME HEIGHT (NO VISIBLE JOINT BETWEEN EXISTING AND NEW).
 13. UNSTRUT TO BE DESIGN BUILD. COORDINATE CLOSELY WITH EQUIPMENT DRAWINGS FOR LOCATIONS OF ALL LIGHTS AND BOOMS.
 14. ACCESS PANELS SIZE, LOCATION AND QUANTITY COORDINATE WITH MECHANICAL.
 15. ALL GYPSUM CEILINGS SHALL BE SUPPORTED USING A TEE SUSPENSION TO MINIMIZE DEPTH OF SYSTEM.

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STATE **SD**

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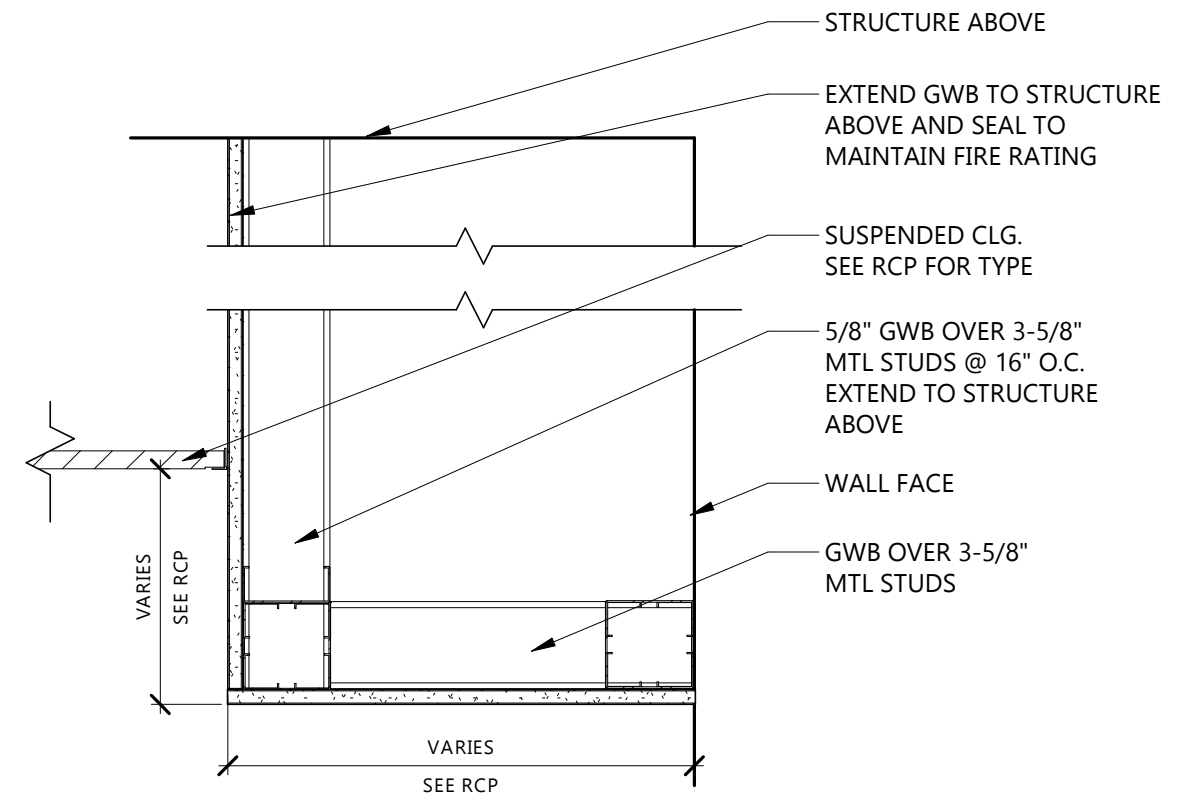
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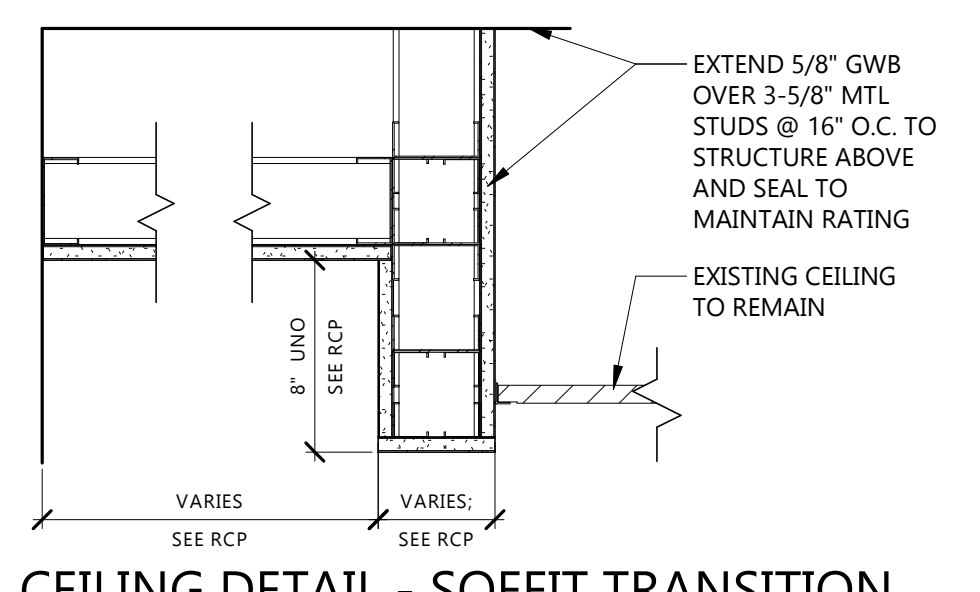
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DRAWING TITLE
REFLECTED CEILING PLAN - ADD ALTERNATES

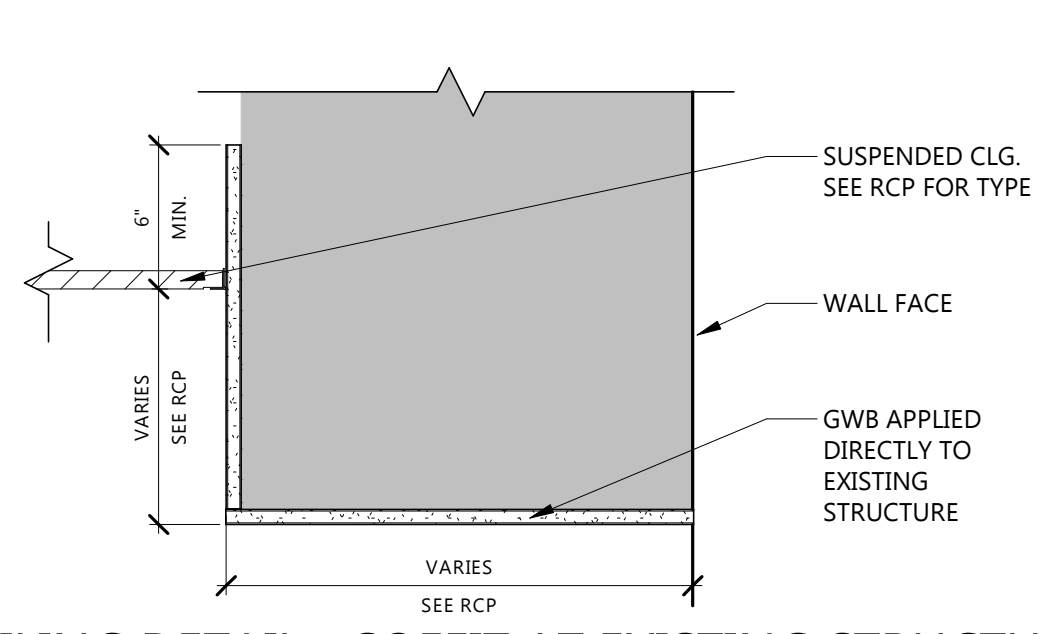
A304



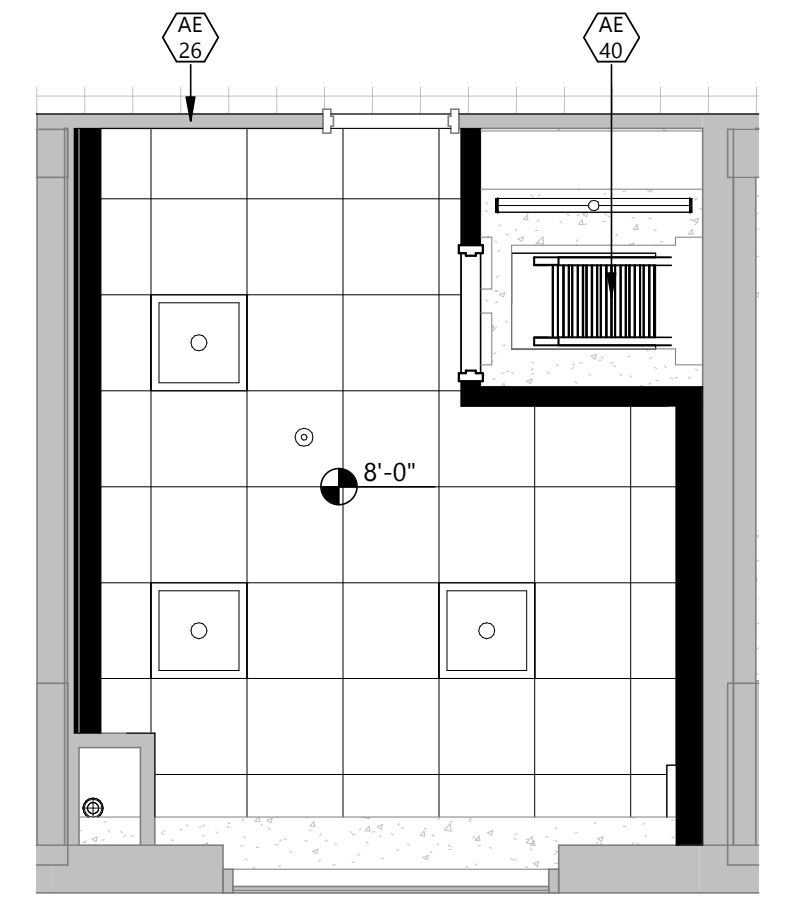
4 CEILING DETAIL - SOFFIT AT RATED WALL
A304 1 1/2" = 1'-0"



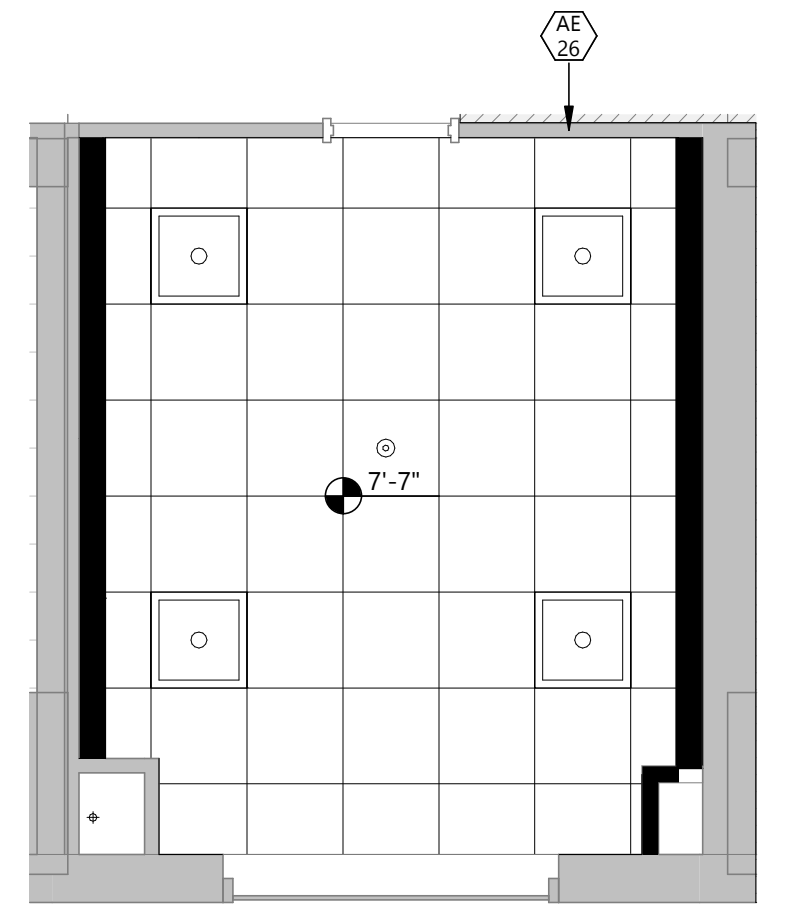
5 CEILING DETAIL - SOFFIT TRANSITION HIGH AT BULKHEAD
A304 1 1/2" = 1'-0"



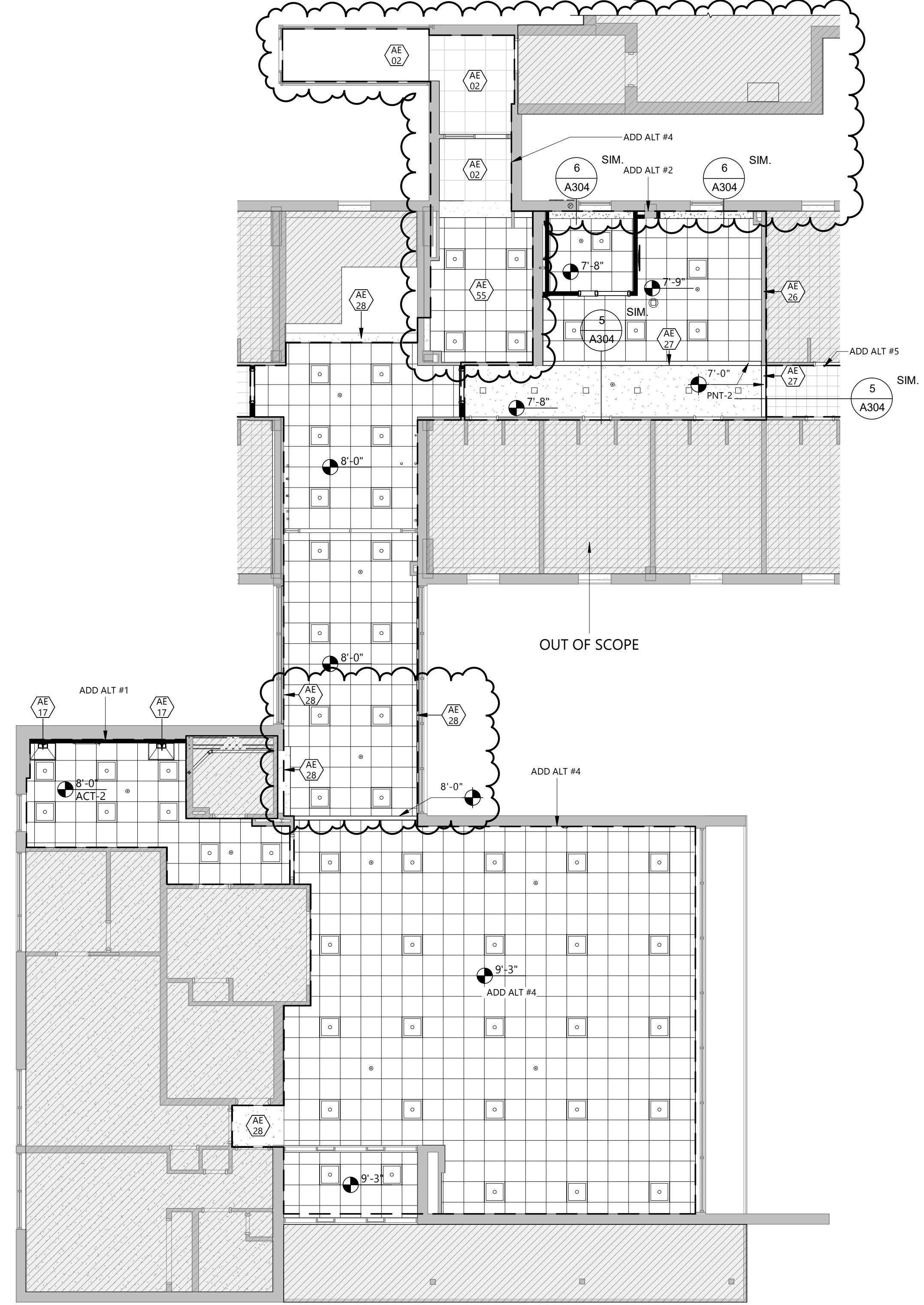
6 CEILING DETAIL - SOFFIT AT EXISTING STRUCTURE
A304 1 1/2" = 1'-0"



3 REFLECTED CEILING PLAN - THIRD FLOOR - LAUNDRY (ADD ALT 3)
A304 1/4" = 1'-0"



2 REFLECTED CEILING PLAN - SECOND FLOOR - LAUNDRY (ADD ALT 3)
A304 1/4" = 1'-0"



1 REFLECTED CEILING PLAN - FIRST FLOOR - LOBBY / STUDENT SPACE (ADD ALT)
A304 1/8" = 1'-0"

CEILING PLAN SYMBOLS

AIR DISTRIBUTION SYMBOLS		TYPICAL SUSPENDED CEILING GRID	
	DIFFUSER SUPPLY		24" x 48" GRID SHOWN
	EXHAUST RETURN		24" x 24" GRID SHOWN
	ACCESS PANEL		EXISTING 12" x 12" APPLIED SURFACE TILE TO HARD LID ABOVE
	RADIANT HEAT PANEL		GYPSUM WALL BOARD OR PLASTER
	MISCELLANEOUS PUBLIC ADDRESS OR AS SHOWN		LIGHT FIXTURES
	SMOKE DETECTOR		2x2 LAY-IN
	VENT		RECESSED LINEAR LED
	EXISTING WALL TO REMAIN		RECESSED LED
	WALL TO EXTEND FULL HEIGHT TO STRUCTURE ABOVE		EMERGENCY LIGHT
	GWB TO EXTEND 6" ABOVE CEILING HEIGHT		EXIT LIGHT

- KEYNOTE LEGEND:**
- AE 02 EXISTING CEILING TO REMAIN. PATCH AND REPAIR AS REQUIRED FOR NEW CONSTRUCTION.
 - AE 17 OVEN WITH OVERHEAD HOOD BY OWNER. SEE MECHANICAL FOR REQUIREMENTS.
 - AE 26 EXTEND EXISTING WALL TO DECK AND SEAL TO MAINTAIN RATING
 - AE 27 EXTEND SOFFIT / BULKHEAD TO DECK AND SEAL TO MAINTAIN RATING
 - AE 28 EXISTING SOFFIT / BULKHEAD TO REMAIN. PAINT PNT-4.
 - AE 40 SHIPS LADDER
 - AE 55 NEW CEILING TO BE INSTALLED BELOW EXISTING. RELOCATE EXISTING FIRE ALARM SYSTEMS TO NEW CEILING. MATCH ADJACENT CEILING HEIGHT.

- GENERAL NOTES - INTERIOR ELEVATIONS**
1. ALL CASEWORK TO BE PLAM-1 UNO. SEE CASEWORK DETAILS FOR REQUIREMENTS.
 2. ALL COUNTERTOPS TO BE SSF-1 UNO. PROVIDE QTZ-1 COUNTERTOPS IN THE BATHROOMS.
 3. FURNITURE IS SHOWN HALFTONE AND DASHED, BY OWNER'S FURNITURE VENDOR.
 4. DASHED EQUIPMENT SHOWN FOR REFERENCE ONLY.
 5. PROVIDE FIRE RETARDANT BLOCKING AT ALL WALL MOUNTED CASEWORK, TV MONITORS, TOILET ACCESSORIES, AND MIRRORS INCLUDING OWNER PROVIDED EQUIPMENT.
 6. TYPICAL ELEVATIONS APPLY TO ALL RESTROOM AND HALLWAY RESTROOM PODS.

- KEYNOTE LEGEND:**
- <<< INDICATES KEYNOTE ON PLAN
- AD 29 REMOVE EXISTING PLUMBING VENT
 - AE 04 TOILET PAPER DISPENSER PROVIDED BY OWNER.
 - AE 06 SOAP DISPENSER PROVIDED BY OWNER.
 - AE 07 ADA GRAB BARS, PROVIDE BLOCKING AS NEEDED - SEE TYPICAL MOUNTING HEIGHTS AND LOCATIONS DIAGRAM FOR REQUIREMENTS
 - AE 08 SANITARY NAPKIN DISPOSAL PROVIDED BY OWNER.
 - AE 09 WALL-MOUNTED LAVATORY MIRROR - SEE MOUNTING HEIGHTS A002 FOR REQUIREMENTS
 - AE 10 WALL-MOUNTED FULL HEIGHT MIRROR - SEE MOUNTING HEIGHTS A002 FOR REQUIREMENTS
 - AE 11 FULL HEIGHT PARTITION SYSTEM
 - AE 12 SHOWER CURTAIN ROD SYSTEM
 - AE 13 RECESSED SHOWER CUBBY OF SAME MATERIAL AS WALL PANELS.
 - AE 14 WALL-MOUNTED FOOT SHELF
 - AE 15 ADA TRANSFER SHOWER SEAT - SEE MOUNTING HEIGHTS A002 FOR REQUIREMENT
 - AE 22 RECESSED BOTTLE FILLER
 - AE 29 ROBE HOOKS
 - AE 36 WALL-MOUNTED AUTOMATIC HAND DRYER
 - AE 37 WALL-MOUNTED SHELF. PROVIDE IN-WALL BACKING AS NEEDED.
 - AE 49 PAINT MECHANICAL GRILLE TO HM DR/FRAME.

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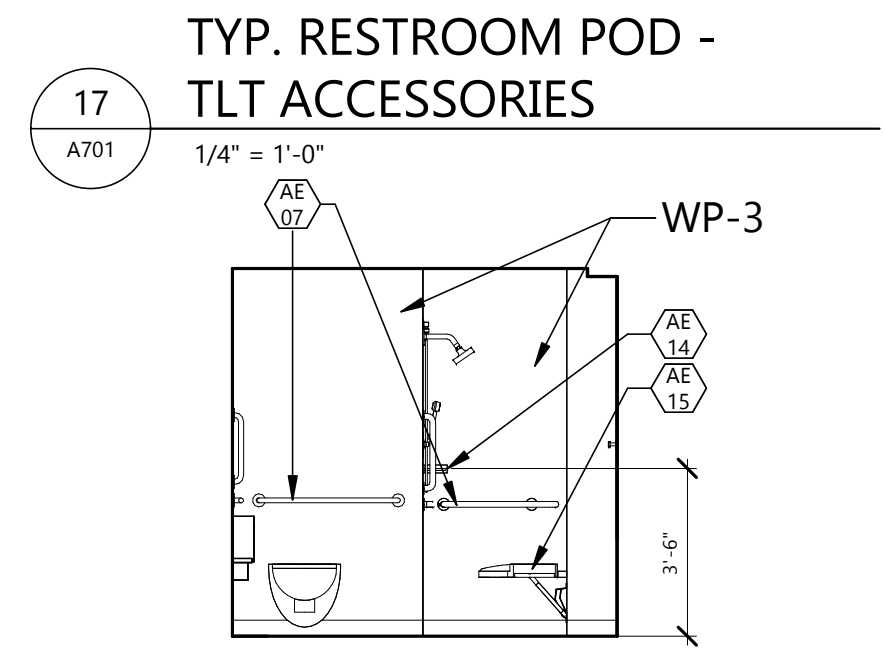
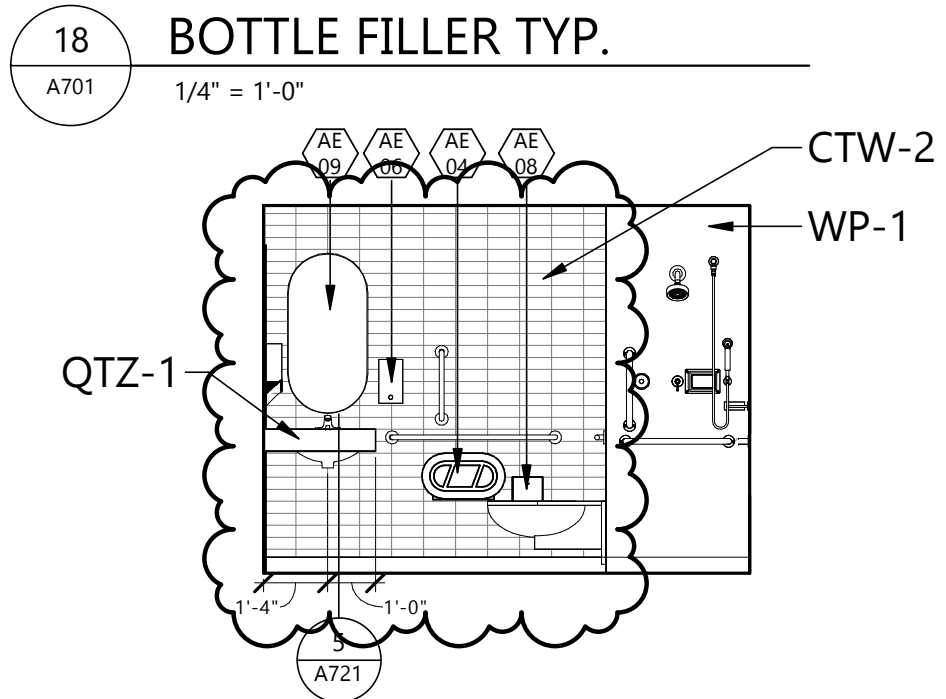
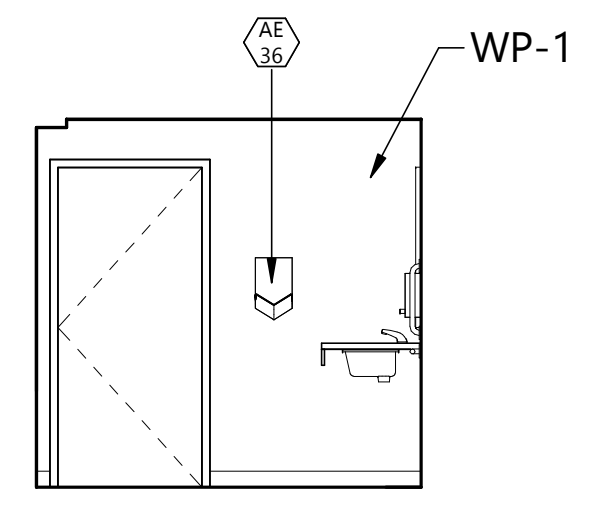
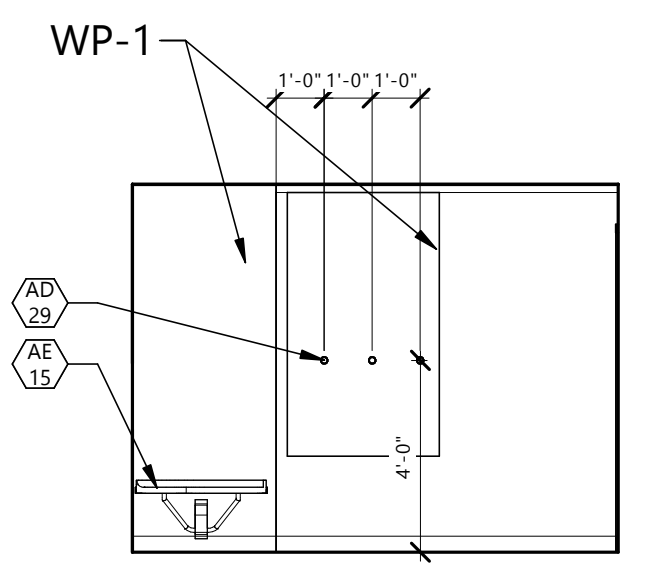
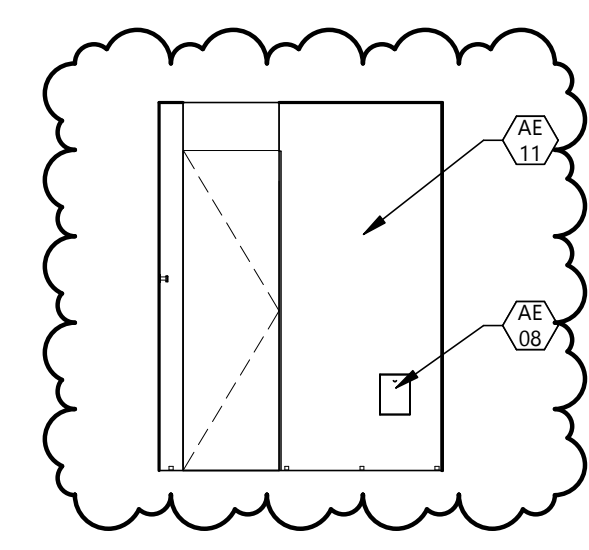
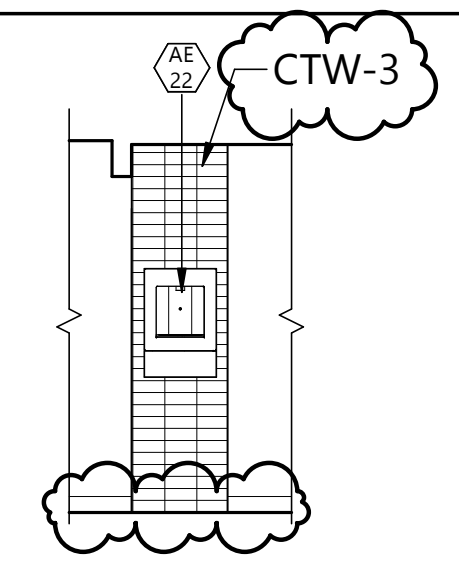
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INTERIOR ELEVATIONS

A701

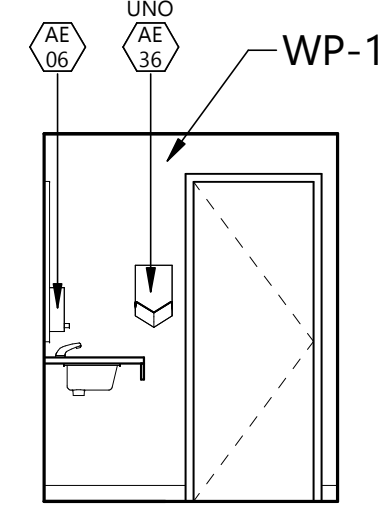
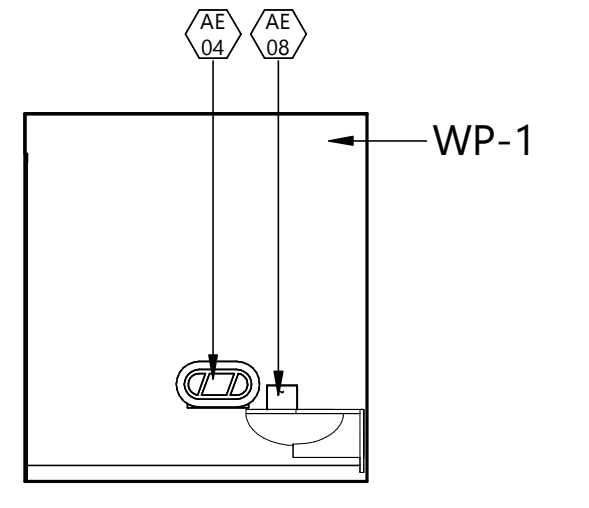
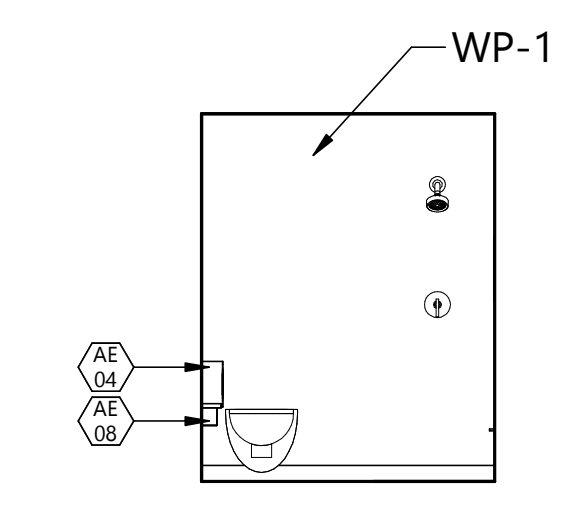


16 **POD ADA - SHOWER BENCH**
A701 1/4" = 1'-0"

15 **POD ADA - DOOR**
A701 1/4" = 1'-0"

18 **BOTTLE FILLER TYP.**
A701 1/4" = 1'-0"

17 **TYP. RESTROOM POD - TLT ACCESSORIES**
A701 1/4" = 1'-0"

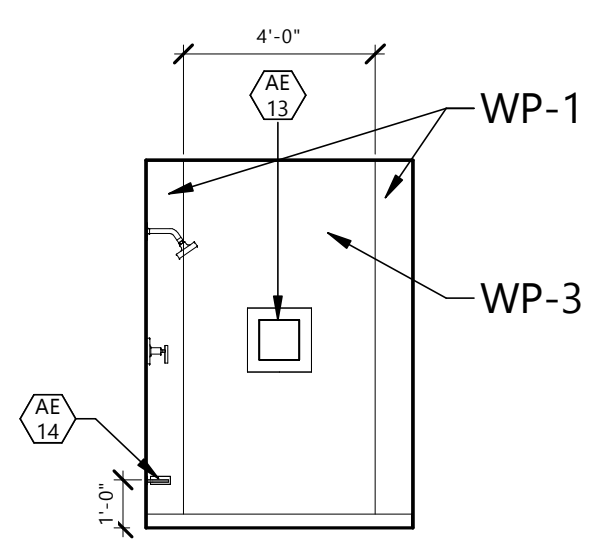
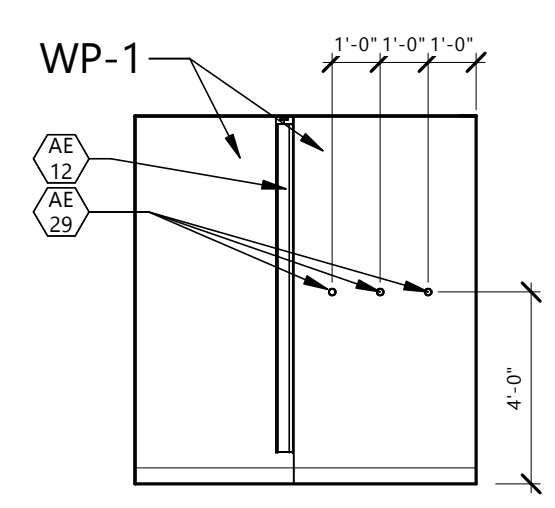
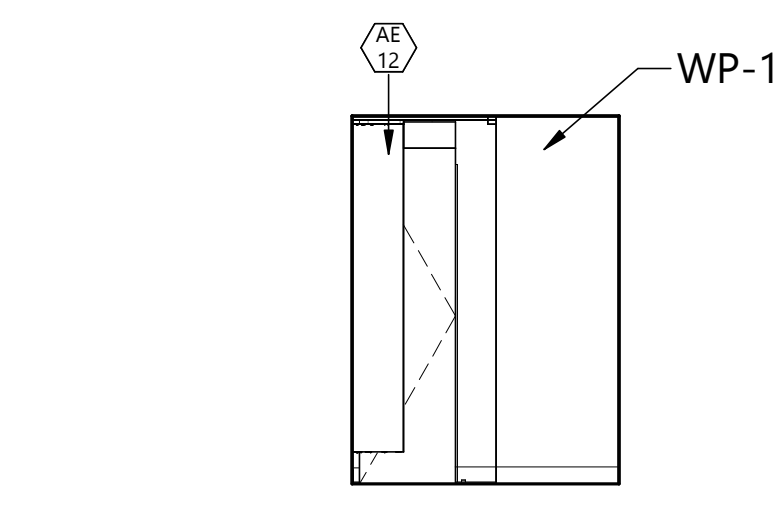
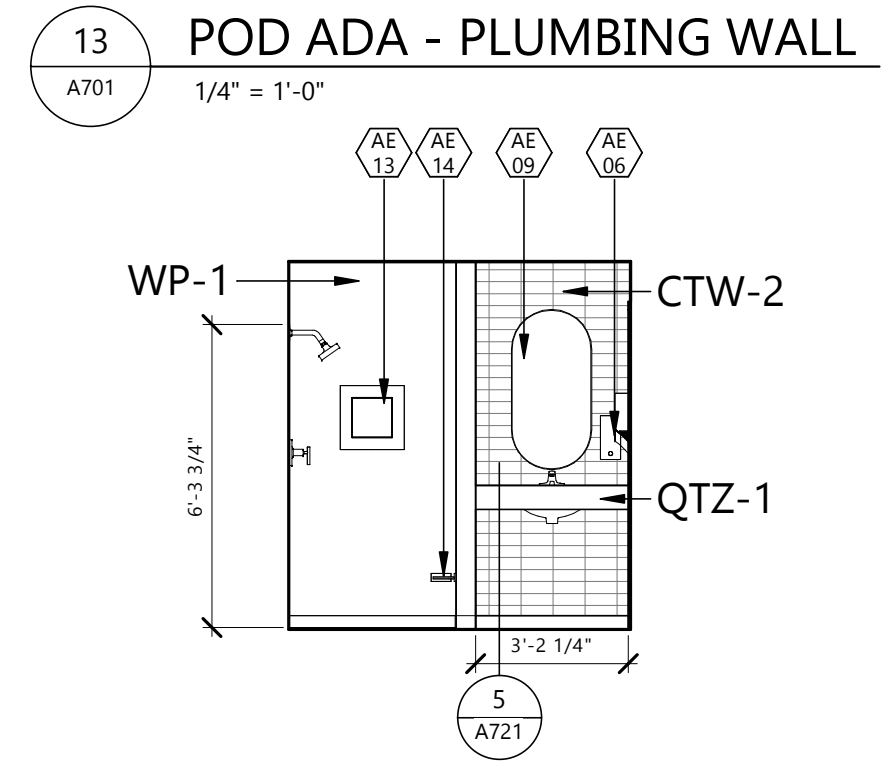


13 **POD ADA - PLUMBING WALL**
A701 1/4" = 1'-0"

12 **HALLWAY POD - PLUMBING WALL**
A701 1/4" = 1'-0"

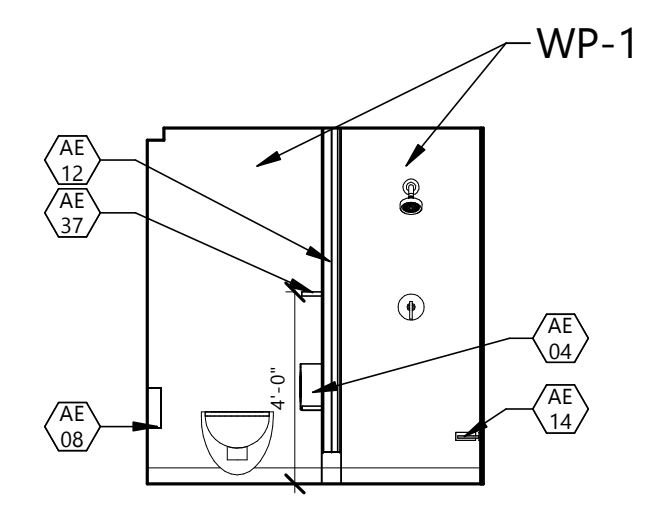
11 **HALLWAY POD - TOILET ACCESSORIES**
A701 1/4" = 1'-0"

14 **POD ADA - TOILET ACCESSORIES**
A701 1/4" = 1'-0"



10 **HALLWAY POD - DOOR**
A701 1/4" = 1'-0"

9 **HALLWAY POD - SINK**
A701 1/4" = 1'-0"

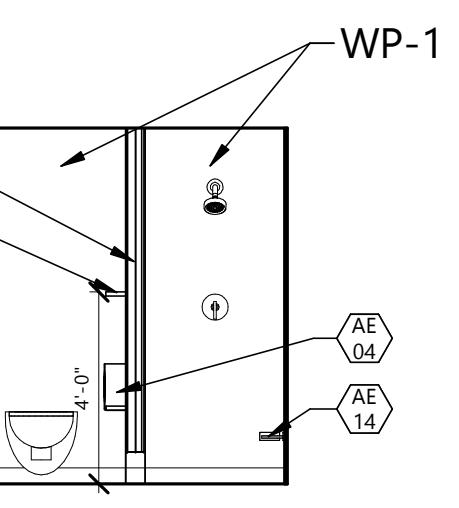
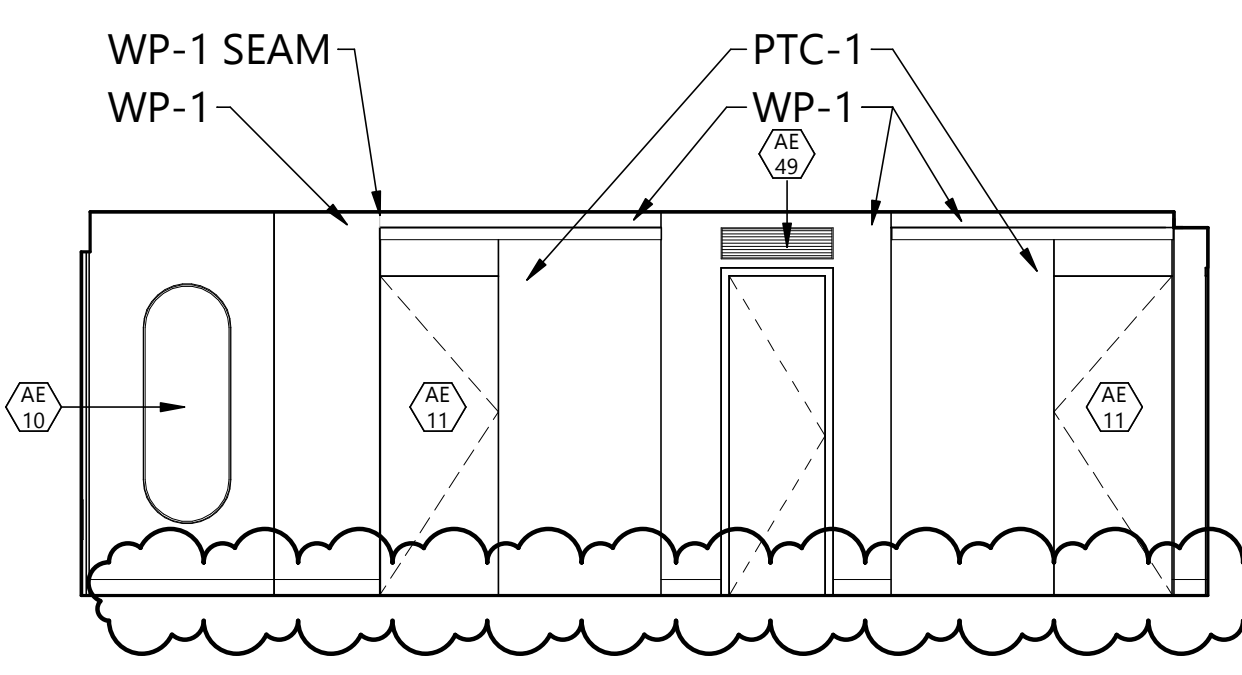
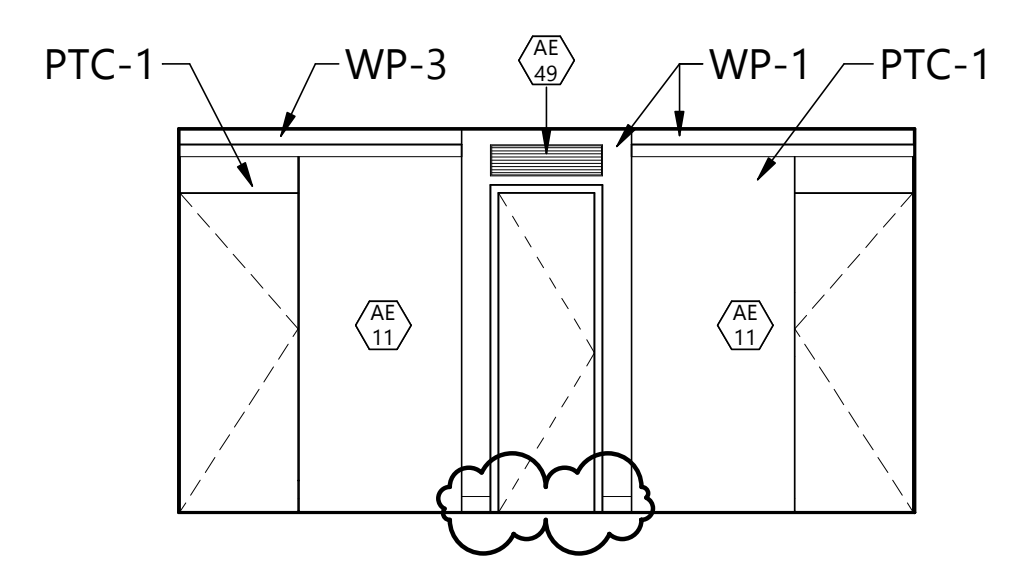
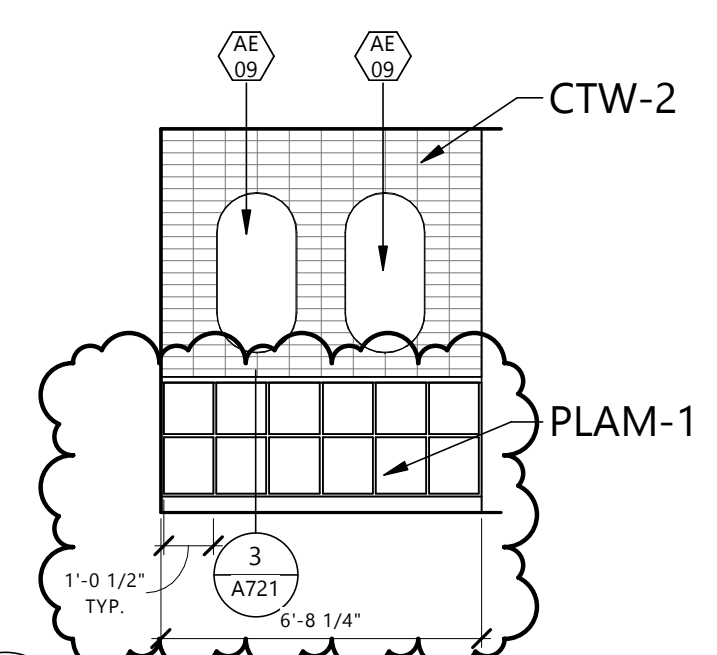


8 **TYP. RESTROOM POD - WALL RETURN**
A701 1/4" = 1'-0"

7 **TYP. RESTROOM POD - HOOKS**
A701 1/4" = 1'-0"

6 **TYP. RESTROOM POD - SHOWER ACCESSORIES**
A701 1/4" = 1'-0"

5 **TYP. RESTROOM POD - PLUMBING WALL**
A701 1/4" = 1'-0"



4 **RESTROOM - CUBBIES**
A701 1/4" = 1'-0"

3 **RESTROOM - PODS EAST**
A701 1/4" = 1'-0"

2 **RESTROOM - PODS SOUTH (NORTH REV.)**
A701 1/4" = 1'-0"

1 **RESTROOM - SINKS TYPICAL**
A701 1/4" = 1'-0"

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Plot Date: 3/13/2025 8:24:59 AM

- GENERAL NOTES**
- GENERAL NOTES APPLY TO ALL DRAWING SETS.
 - SUBCONTRACTORS FOR EACH TRADE ARE ADVISED THAT INFORMATION PERTINENT TO THEIR WORK MAY OCCUR IN OTHER PORTIONS OF THE CONTRACT DOCUMENTS. ALL NOTES ARE TO BE REVIEWED AND APPLIED TO RELATED BUILDINGS DOCUMENTS.
 - FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. NOTIFY ARCHITECT IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES OCCUR BEFORE AND / OR DURING CONSTRUCTION.
 - CROSS REFERENCES SHOWN ON DRAWINGS DO NOT NECESSARILY INDICATE ALL LIKE CONDITIONS AND DO NOT LIMIT APPLICATION OF ANY DRAWING OF DETAIL WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED. CONSULT THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
 - REVIEW SPECIFICATIONS FOR INSTRUCTIONS NOT SHOWN ON DRAWINGS. INFORMATION COMMON TO SEVERAL DRAWINGS MAY BE NOTED ON ONLY ONE. CONTRACTOR IS RESPONSIBLE FOR ENTIRE SET OF DOCUMENTS.
 - ALL NEW CONSTRUCTION IS INDICATED BOLD OR FULL TONE.
 - DIMENSIONS AT INTERIOR PARTITIONS ARE TO THE CENTER OF THE WALL UNLESS NOTED OTHERWISE.
 - PROVIDE FIRE RETARDANT WOOD BACKING AND / OR BLOCKING IN WALLS AS REQUIRED AT ALL WALL MOUNTED ITEMS. AT EXISTING WALLS, REMOVE WALL MATERIAL TO INSTALL FIRE-TREATED WOOD BACKING/BLOCKING FOR NEW WALL-MOUNTED ITEMS.
 - DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR TO VERIFY ALL DIMENSIONS & FIELD CONDITIONS PRIOR TO COMMENCING THE WORK.
 - REFER TO INTERIOR FINISH PLANS FOR CORNER GUARD LOCATIONS.
 - PATCH ALL HOLES IN EXISTING SURFACES & WHERE EQUIPMENT HAS BEEN REMOVED OR DEMOLITION HAS OCCURRED & PREPARE WALL SURFACES (PATCH, SKIM COAT, ETC.) AS REQUIRED IN PREPARATION FOR NEW FINISHES SCHEDULED. PATCH TO MATCH ADJACENT SURFACES IF NOT SCHEDULED.
 - CAULK ALL COUNTERTOPS, BACKSPASHES & CABINETS AT LOCATIONS WHERE THEY MEET WALL. SEAL ALL CUT-OUTS IN COUNTERTOPS.
 - ALL EXISTING CONSTRUCTION, CABINET WORK, EQUIPMENT, ETC. TO REMAIN INDICATED AS LIGHT OR HALF TONE.
 - ALL PIPING, CONDUITS, & RELATED MECHANICAL & ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN DRYWALL AND/OR PLASTER FURRING AS REQUIRED IN FINISHED AREAS WHETHER SHOWN ON DRAWINGS OR NOT UNLESS OTHERWISE NOTED.
 - SEAL AROUND ALL MECHANICAL & ELECTRICAL EQUIPMENT PENETRATIONS AT RATED WALLS, ABOVE & BELOW CEILINGS, WITH A UL APPROVED FIRE-STOPPING MATERIAL - SEE SPECIFICATIONS.
 - WHEN WALL PARTITIONS OF DIFFERENT RATING INTERSECT, THE HIGHEST RATED PARTITIONS TAKE PRECEDENCE.
 - ALL FURNITURE FOR REFERENCE ONLY (SHOWN DASHED) WILL BE OWNER FURNISHED & OWNER INSTALLED.
 - ERECT DUST PROOF PARTITIONS AS REQUIRED BY THE WORK ICRA TO PROTECT ADJACENT AREAS - REFER TO SPEC SECTIONS 01 3532 AND 01 5615.
 - PROVIDE EASED EDGE AT COUNTERTOPS U.N.O.
 - ALL EXISTING FLOOR & WALL OPENING & DEPRESSIONS NOT USED IN THE NEW WORK SHALL BE FILLED OR CLOSED WITH MATERIALS TO MEET REQUIRED FIRE RATING & MATCH ADJACENT FINISHES.
 - ALL CUTTING & PATCHING REQUIRED FOR NEW MECHANICAL & ELECTRICAL WORK IN ALL EXISTING SPACES SHALL BE BY THE RESPECTIVE CONSTRUCTION.
 - MATCH FINISHED WALL THICKNESS WHERE NEW WALLS OCCUR IN LINE WITH EXISTING.
 - ALL EXISTING CEILING & WALL GRILLES, DIFFUSERS, & LIGHTS ETC. TO REMAIN IN AREAS OF CONSTRUCTION SHALL BE CLEANED.
 - VERIFY THAT THE EXISTING WALLS REQUIRING FIRE RATING ARE MAINTAINED, REPAIRED & EXTENDED TO STRUCTURE.
 - ALL NEW WALLS ARE TYPE 'A5' WALL PARTITIONS UNLESS NOTED OTHERWISE. SEE WALL TYPES SHEET A021.
 - REFER TO LIFE SAFETY PLANS AND FLOOR PLANS FOR LOCATION OF REQUIRED FIRE WALLS.
 - REFER TO ELEVATIONS FOR WALL MOUNTED EQUIPMENT. PROVIDE IN-WALL BLOCKING AS REQUIRED.
 - ALL COUNTERTOPS TO BE SSF-1 UNO, WITH THE EXCEPTION OF BATHROOMS TO BE QTZ-1.
 - ALL CASEWORK TO BE PLAM-2 UNO.
 - TYPICAL ELEVATIONS APPLY TO ALL RESTROOM AND HALLWAY RESTROOM PODS.

CLIENT
 SOUTH DAKOTA STATE UNIVERSITY

PROJECT DESCRIPTION
 SWN 0509, WANETA HALL RENOVATE RESTROOMS (OSE# R0325--15X)

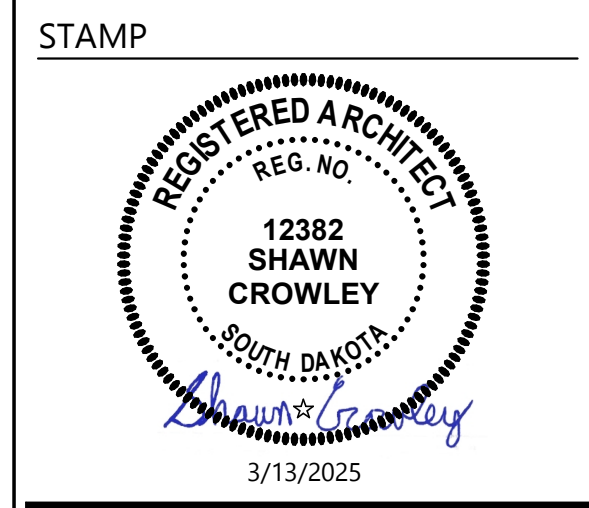
CITY BROOKINGS
STATE SD

ISSUE DATES

MARK	DESCRIPTION	DATE
1	ADDENDUM 2	03/31/2025
CD	CONSTRUCTION DOCUMENTS	03/13/2025

PROJECT NO: 20246780
DRAWN BY: PR
CHECKED BY: SC

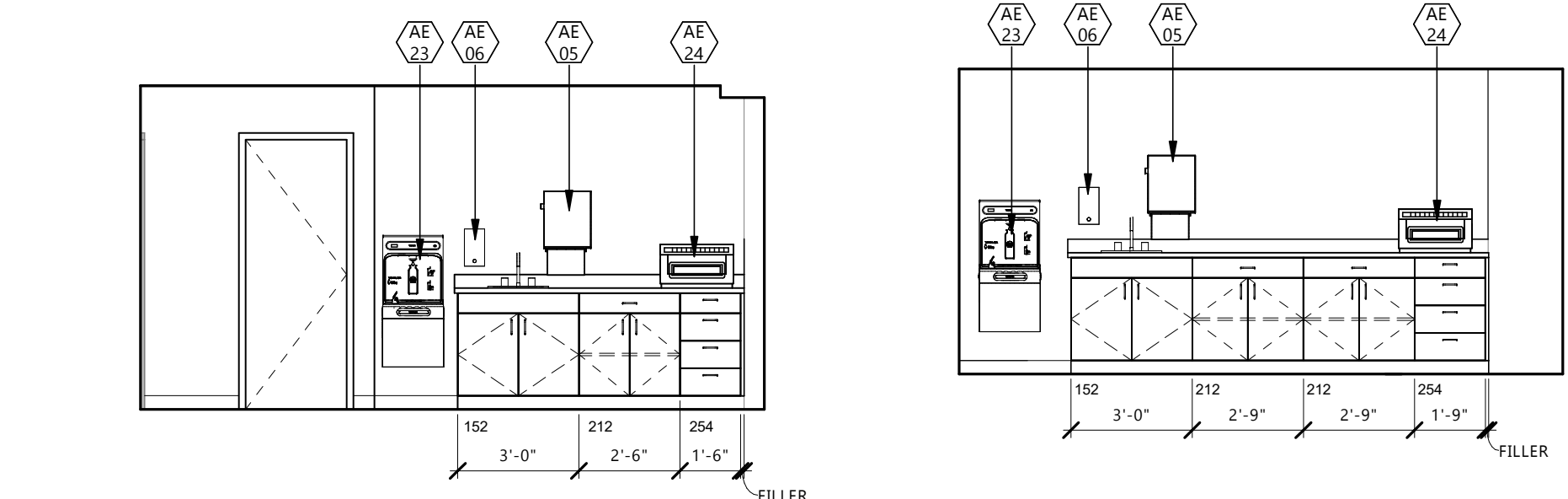
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DRAWING TITLE
 ENLARGED PLANS / INTERIOR ELEVATIONS - ALTERNATES

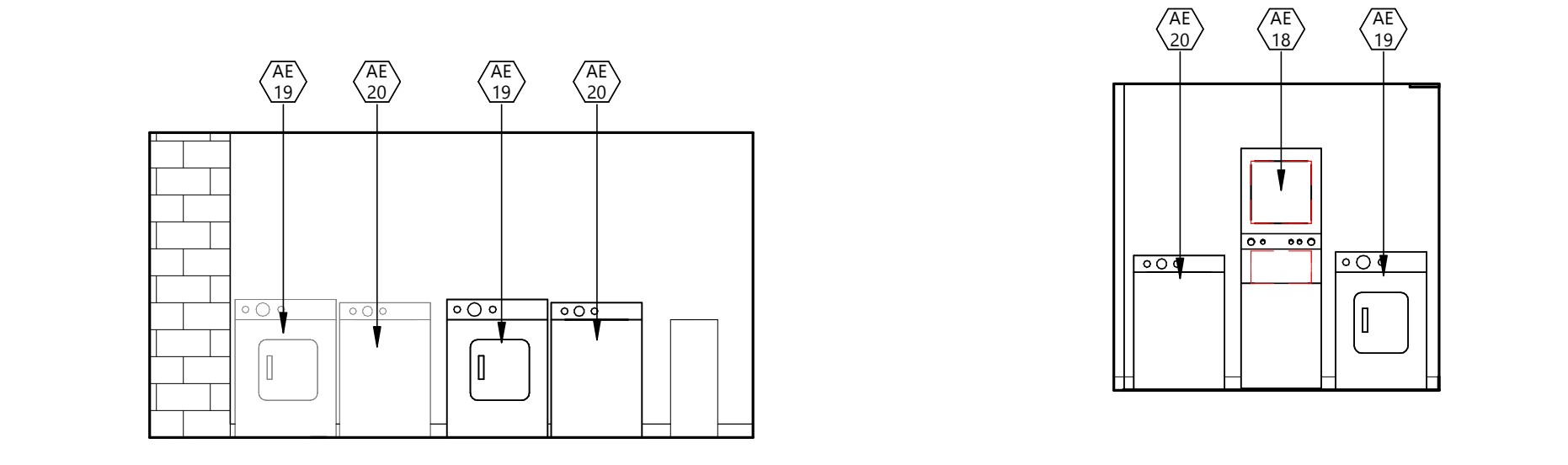
A702

- KEYNOTE LEGEND:**
- AE 05 PAPER TOWEL DISPENSER PROVIDED BY OWNER.
 - AE 06 SOAP DISPENSER PROVIDED BY OWNER.
 - AE 16 WALL-MOUNTED OPEN SHELVING. SEE DETAIL 1/A721.
 - AE 17 OVEN WITH OVERHEAD HOOD BY OWNER. SEE MECHANICAL FOR REQUIREMENTS.
 - AE 18 WASHER / DRYER COMBO - BY OWNER
 - AE 19 WASHING MACHINE - BY OWNER
 - AE 20 DRYER - BY OWNER
 - AE 23 RELOCATED WATER FOUNTAIN
 - AE 24 MICROWAVE BY OWNER
 - AE 48 PROVIDE STOPS AND SEAL EXISTING WINDOW FROM OPENING



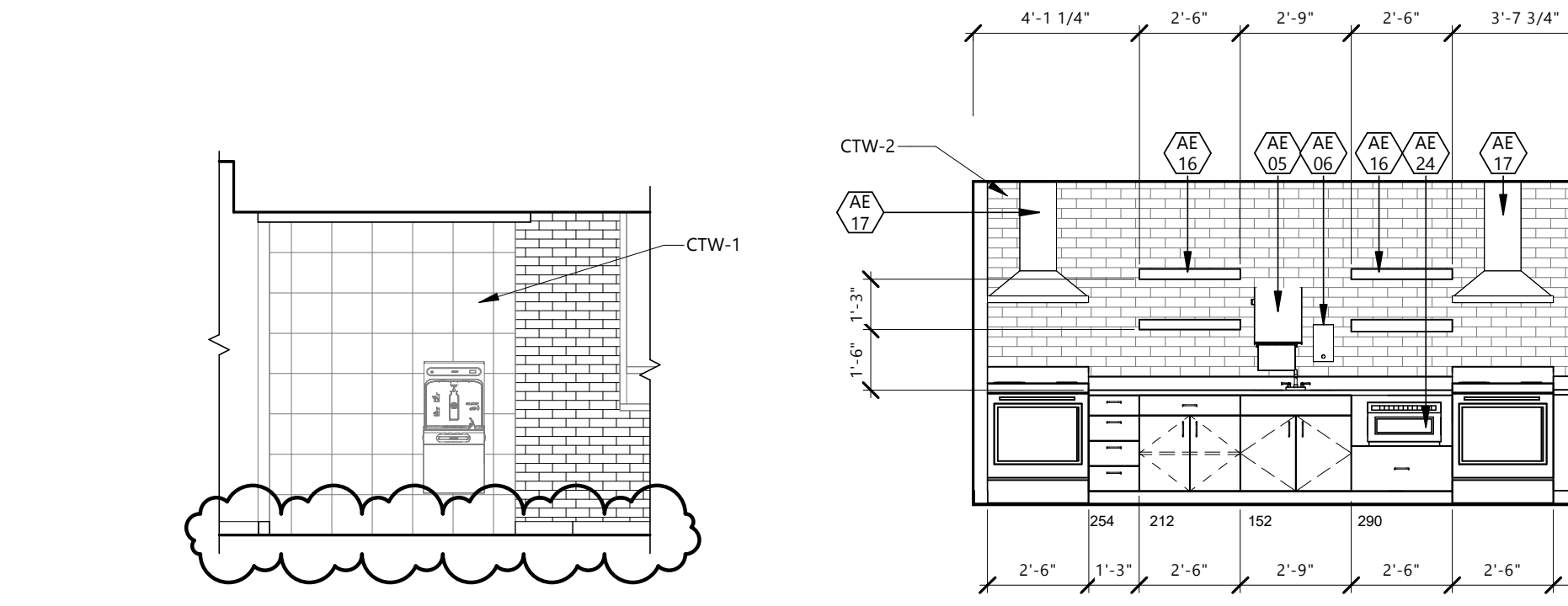
10 LAUNDRY - THIRD FLOOR - CASEWORK (ALT 03)
 A702 1/4" = 1'-0"

9 LAUNDRY - SECOND FLOOR - CASEWORK (ALT 03)
 A702 1/4" = 1'-0"



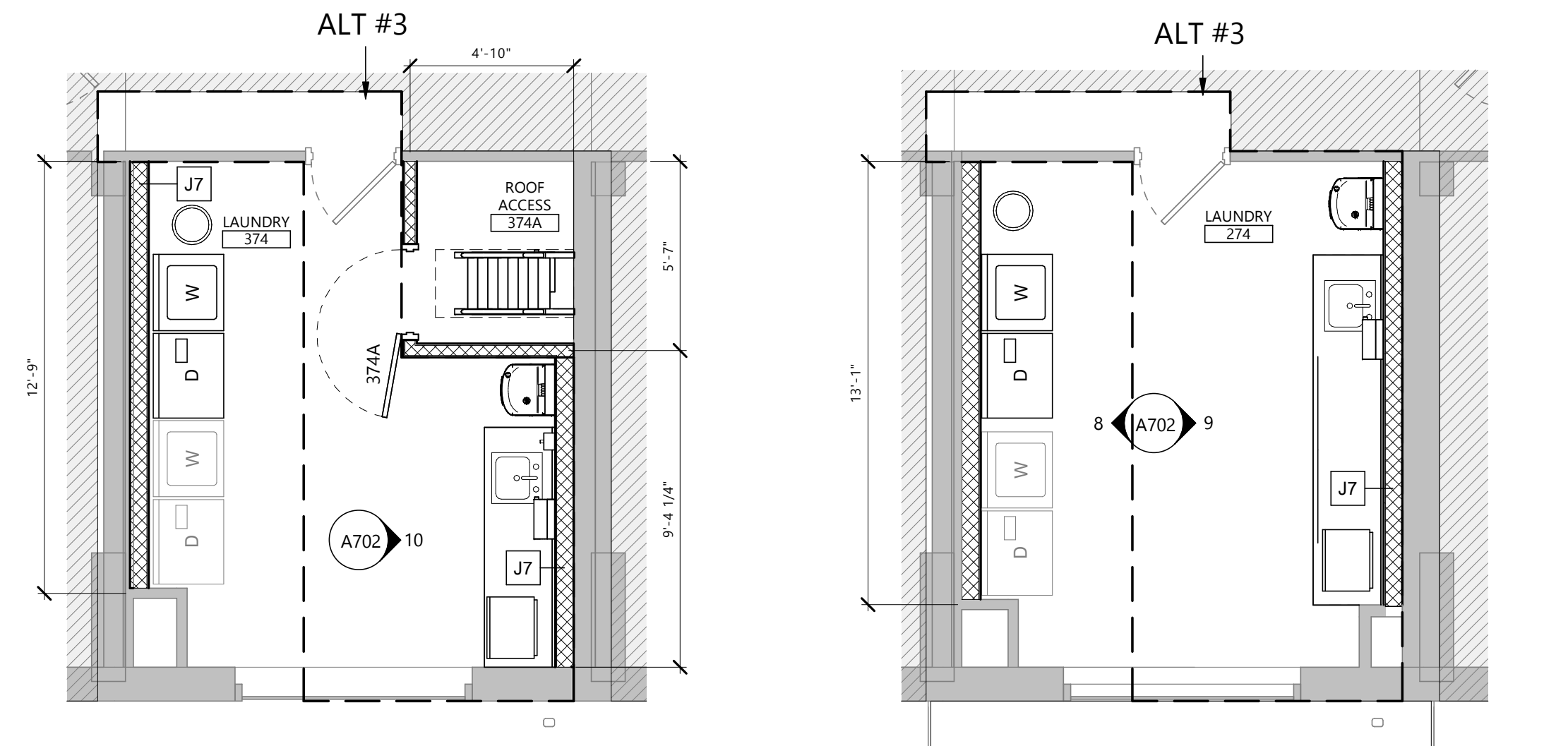
8 LAUNDRY - NORTH (ALT 03)
 A702 1/4" = 1'-0"

6 LAUNDRY - FIRST FLOOR (ALT 02)
 A702 1/4" = 1'-0"



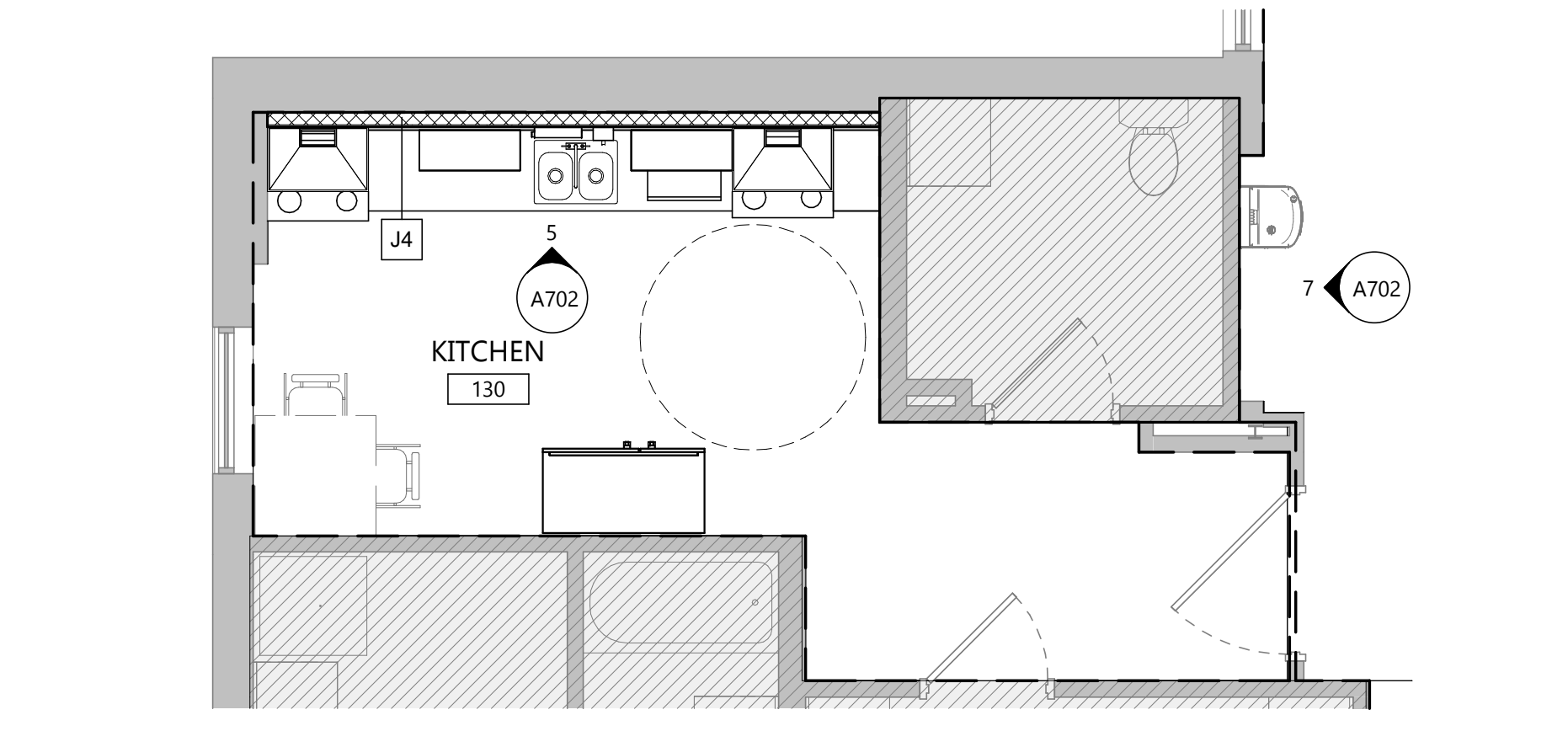
7 WATER FOUNTAIN - LOBBY (ALT 04)
 A702 1/4" = 1'-0"

5 KITCHEN - EAST (ALT 01)
 A702 1/4" = 1'-0"

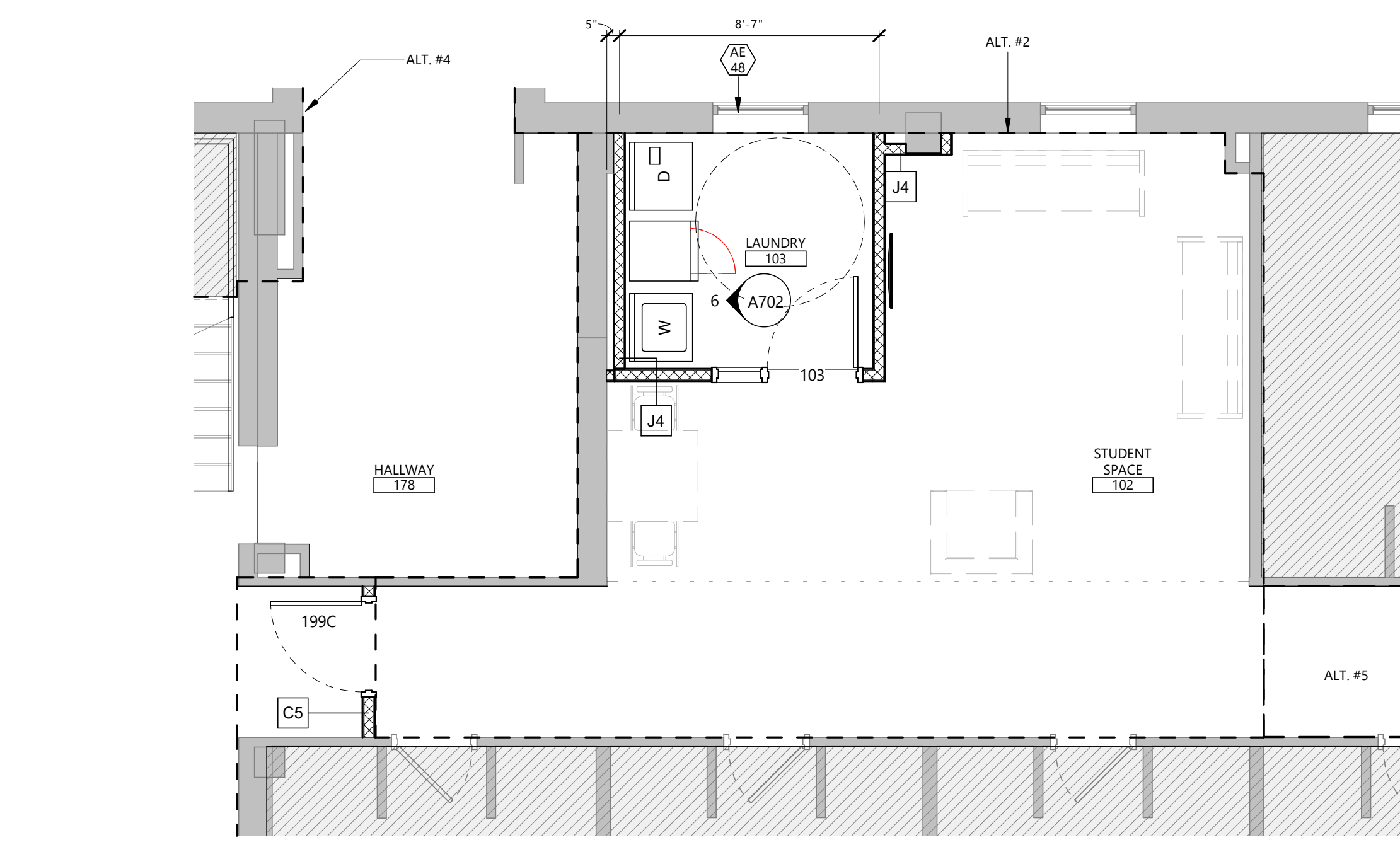


4 LAUNDRY ROOM - THIRD (ALT 03)
 A702 1/4" = 1'-0"

3 LAUNDRY ROOM - SECOND (ALT 03)
 A702 1/4" = 1'-0"



2 ENLARGED PLAN - FIRST FLOOR KITCHEN (ALT 01)
 A702 1/4" = 1'-0"



1 ENLARGED PLAN - FIRST FLOOR LAUNDRY / STUDENT SPACE (ALT 02)
 A702 1/4" = 1'-0"

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SOUTH DAKOTA STATE UNIVERSITY

PROJECT DESCRIPTION
SWN 0509, WANETA HALL RENOVATE RESTROOMS (OSE# R0325--15X)

CITY BROOKINGS
STATE SD

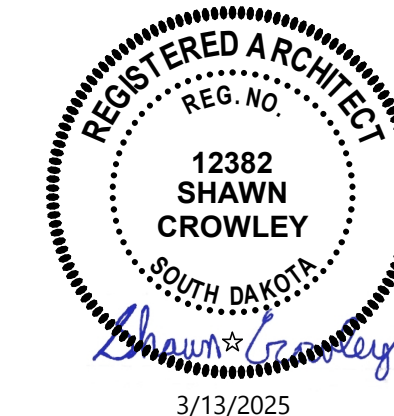
ISSUE DATES

MARK	DESCRIPTION	DATE
1	ADDENDUM 2	03/31/2025
CD	CONSTRUCTION DOCUMENTS	03/13/2025

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DRAWING TITLE
FINISH PLAN - FIRST FLOOR

A901

GENERAL FINISH NOTES

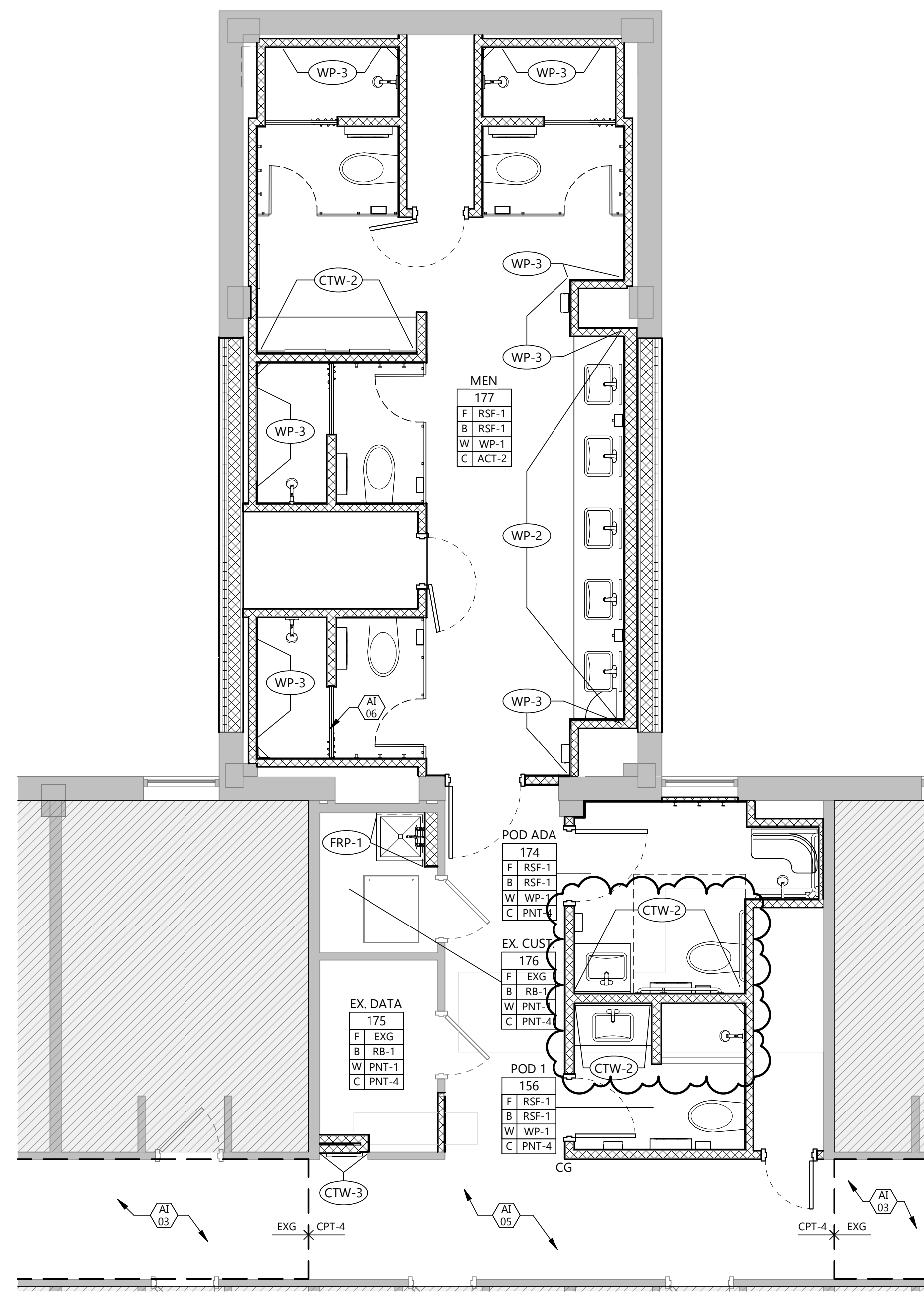
- REFER TO FINISH PLANS, INTERIOR ELEVATIONS, AND REFLECTED CEILING PLANS FOR ADDITIONAL FINISH LOCATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALLOWING FOR DELIVERY LEAD TIMES FOR ALL FINISHES SPECIFIED WITHIN THE CONSTRUCTION SCHEDULE. ALL DELIVERY TIMES MUST BE CONFIRMED, AND ANY EXCESSIVE LEAD TIME MUST BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY TO ALLOW FOR RE-SPECIFICATION IF NECESSARY.
- CONTRACTOR SHALL FOLLOW MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION OF ALL MATERIALS.
- WHERE WALL FINISH CHANGES OCCUR, TERMINATE AT INSIDE CORNERS, UNO.
- ALL WALLS TO RECEIVE (PNT-1), UNO. REFER TO FINISH PLANS FOR MORE INFORMATION.
- ALL TRANSITIONS OF FLOOR FINISH MATERIALS SHALL BE LOCATED DIRECTLY UNDER CENTER OF DOOR, WHERE OCCURS, UNO. AT SLIDING DOORS, TRANSITIONS SHALL BE LOCATED ON THE INSIDE FACE OF DOOR, UNO.
- ALL CRACKS, HOLES, IMPERFECTIONS IN EXISTING WALLS, PARTITIONS OR GYP BOARD SHALL BE FILLED WITH PATCHING PLASTER AND SMOOTHED OFF TO MATCH ADJOINING SURFACES.
- ALL SEALANTS TO MATCH SURFACE IN WHICH THEY OCCUR.
- JOINTS IN RESILIENT BASE SHALL NOT OCCUR CLOSER THAN 6" FROM CORNER AND SHALL BE BUTTED TIGHTLY TOGETHER.
- ALL MISCELLANEOUS ITEMS SCHEDULED TO BE PAINTED, INCLUDING MECHANICAL AND ELECTRICAL, PAINT TO MATCH ADJACENT SURFACE.
- UPON COMPLETION, REMOVE ALL PAINT FROM WHERE IT HAS SPILLED, SPLASHED OR SPLATTERED ON EXPOSED SURFACES.
- EXAMINE ALL FINISH SURFACES AFTER COMPLETION OF WORK AND PROCEED WITH "TOUCH-UP" AS REQUIRED.
- UNDERSIDE OF SOFFITS (WHERE OCCURS) TO RECEIVE A FINISH TO MATCH THE ADJACENT SOFFIT VERTICAL FINISH, UNO.
- ALL VERTICAL SURFACES WHERE NEW FLOORING IS INDICATED SHALL RECEIVE WALL BASE (RB-1), UNO.
- PAINT CEILING ACCESS PANELS WHERE THEY OCCUR TO MATCH ADJACENT CEILING FINISH.
- STAINED AND PAINTED SURFACES SHALL BE FINISHED SUCH THAT JOINTS ARE NOT VISIBLE WHEN VIEWED FROM ANY ANGLE AS DETERMINED BY THE ARCHITECT.
- ALL GYP BOARD CEILINGS AND SOFFITS TO BE (PNT-4), UNO. REFER TO REFLECTED CEILING PLAN AND CEILING DETAILS FOR MORE FINISH INFORMATION.
- PROVIDE CORNER GUARDS AT OUTSIDE CORNERS AS INDICATED, UNO.
- HOLLOW METAL DOORS AND HOLLOW METAL FRAMES SHALL BE PAINTED TO MATCH (PNT-3) WHERE NEW WORK IS INDICATED. WITH THE EXCEPTION OF RESTROOM DOORS AND HOLLOW METAL FRAMES TO BE (PNT-5).
- CONTRACTOR TO PROVIDE FLOOR SEAMING DIAGRAM TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
- ALL AREAS OF CONCRETE SLAB RECEIVING A FLOOR COVERING TO UNDERGO MOISTURE TESTING IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTION.
- ALL RAILING OR GUARD RAILS TO BE PAINTED FIELD COLOR (PNT-3), UNO.
- ALL OUTSIDE CORNERS OF TILE INSTALLATIONS TO RECEIVE (TS-1).

FINISH LEGEND

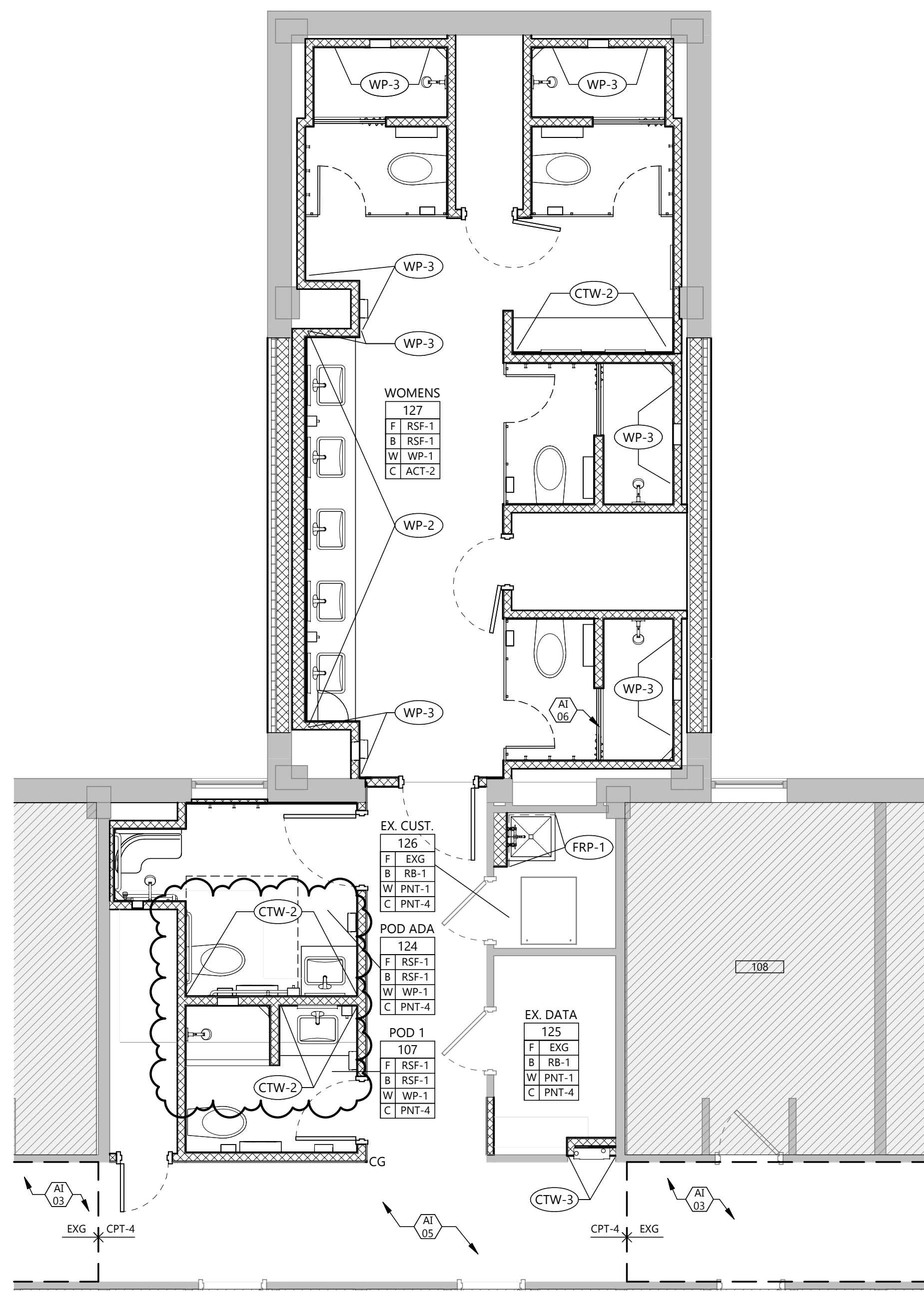
- (PNT-X) WALL FINISH SYMBOL
- (CTF-X) FLOOR FINISH SYMBOL
- (EXG) EXISTING FLOOR FINISH TO REMAIN

KEYNOTE LEGEND:

- << << INDICATES KEYNOTE ON PLAN
- AI 03 PROVIDE CPT-5 IN HALLWAY AS ALTERATE #5.
- AI 05 MATCH EXISTING WALL AND BASE FINISHES IN THIS AREA
- AI 06 PROVIDE ALTRO SHOWER TRANSITION PIECE AT ALL SHOWERS. (TYPICAL)



2 FINISH PLAN - MEN - FIRST FLOOR
A901 1/4" = 1'-0"

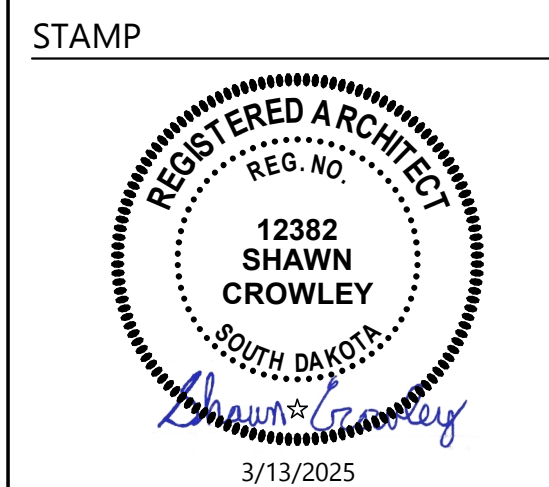


1 FINISH PLAN - WOMEN - FIRST FLOOR
A901 1/4" = 1'-0"

MARK	DESCRIPTION	DATE
1	ADDENDUM 2	03/31/2025
CD	CONSTRUCTION DOCUMENTS	03/13/2025

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DRAWING TITLE
FINISH PLAN - SECOND FLOOR

A902

GENERAL FINISH NOTES

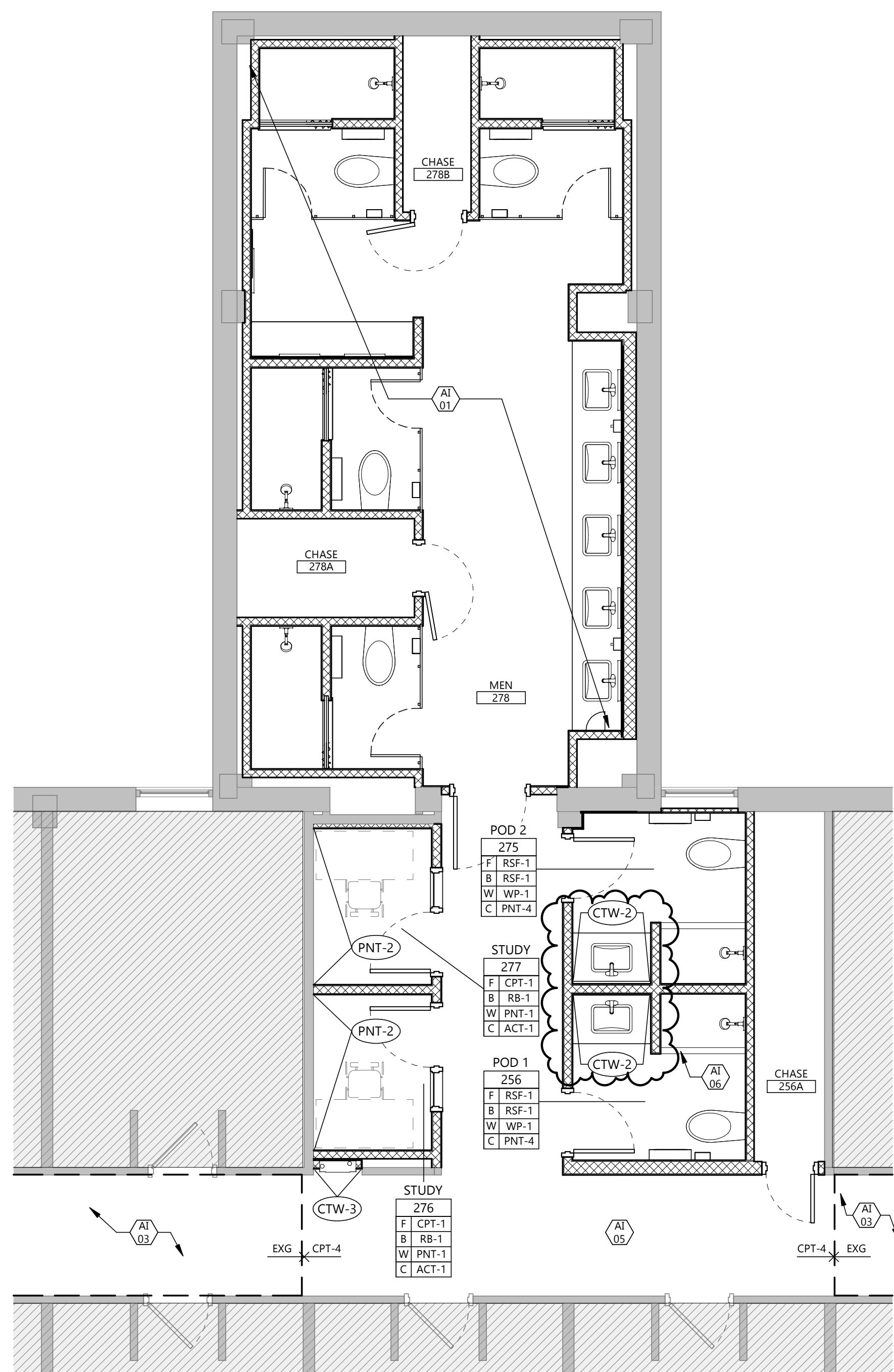
- REFER TO FINISH PLANS, INTERIOR ELEVATIONS, AND REFLECTED CEILING PLANS FOR ADDITIONAL FINISH LOCATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALLOWING FOR DELIVERY LEAD TIMES FOR ALL FINISHES SPECIFIED WITHIN THE CONSTRUCTION SCHEDULE. ALL DELIVERY TIMES MUST BE CONFIRMED, AND ANY EXCESSIVE LEAD TIME MUST BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY TO ALLOW FOR RE-SPECIFICATION IF NECESSARY.
- CONTRACTOR SHALL FOLLOW MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION OF ALL MATERIALS.
- WHERE WALL FINISH CHANGES OCCUR, TERMINATE AT INSIDE CORNERS, UNO.
- ALL WALLS TO RECEIVE (PNT-1), UNO. REFER TO FINISH PLANS FOR MORE INFORMATION.
- ALL TRANSITIONS OF FLOOR FINISH MATERIALS SHALL BE LOCATED DIRECTLY UNDER CENTER OF DOOR, WHERE OCCURS, UNO. AT SLIDING DOORS, TRANSITIONS SHALL BE LOCATED ON THE INSIDE FACE OF DOOR, UNO.
- ALL CRACKS, HOLES, IMPERFECTIONS IN EXISTING WALLS, PARTITIONS OR GYP BOARD SHALL BE FILLED WITH PATCHING PLASTER AND SMOOTHED OFF TO MATCH ADJOINING SURFACES.
- ALL SEALANTS TO MATCH SURFACE IN WHICH THEY OCCUR.
- JOINTS IN RESILIENT BASE SHALL NOT OCCUR CLOSER THAN 6" FROM CORNER AND SHALL BE BUTTED TIGHTLY TOGETHER.
- ALL MISCELLANEOUS ITEMS SCHEDULED TO BE PAINTED, INCLUDING MECHANICAL AND ELECTRICAL, PAINT TO MATCH ADJACENT SURFACE.
- UPON COMPLETION, REMOVE ALL PAINT FROM WHERE IT HAS SPILLED, SPLASHED OR SPLATTERED ON EXPOSED SURFACES.
- EXAMINE ALL FINISH SURFACES AFTER COMPLETION OF WORK AND PROCEED WITH "TOUCH-UP" AS REQUIRED.
- UNDERSIDE OF SOFFITS (WHERE OCCURS) TO RECEIVE A FINISH TO MATCH THE ADJACENT SOFFIT VERTICAL FINISH, UNO.
- ALL VERTICAL SURFACES WHERE NEW FLOORING IS INDICATED SHALL RECEIVE WALL BASE (RB-1), UNO.
- PAINT CEILING ACCESS PANELS WHERE THEY OCCUR TO MATCH ADJACENT CEILING FINISH.
- STAINED AND PAINTED SURFACES SHALL BE FINISHED SUCH THAT JOINTS ARE NOT VISIBLE WHEN VIEWED FROM ANY ANGLE AS DETERMINED BY THE ARCHITECT.
- ALL GYP BOARD CEILINGS AND SOFFITS TO BE (PNT-4), UNO. REFER TO REFLECTED CEILING PLAN AND CEILING DETAILS FOR MORE FINISH INFORMATION.
- PROVIDE CORNER GUARDS AT OUTSIDE CORNERS AS INDICATED, UNO.
- HOLLOW METAL DOORS AND HOLLOW METAL FRAMES SHALL BE PAINTED TO MATCH (PNT-3) WHERE NEW WORK IS INDICATED, WITH THE EXCEPTION OF RESTROOM DOORS AND HOLLOW METAL FRAMES TO BE (PNT-5).
- CONTRACTOR TO PROVIDE FLOOR SEAMING DIAGRAM TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
- ALL AREAS OF CONCRETE SLAB RECEIVING A FLOOR COVERING TO UNDERGO MOISTURE TESTING IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTION.
- ALL RAILING OR GUARD RAILS TO BE PAINTED FIELD COLOR (PNT-3), UNO.
- ALL OUTSIDE CORNERS OF TILE INSTALLATIONS TO RECEIVE (TS-1).

FINISH LEGEND

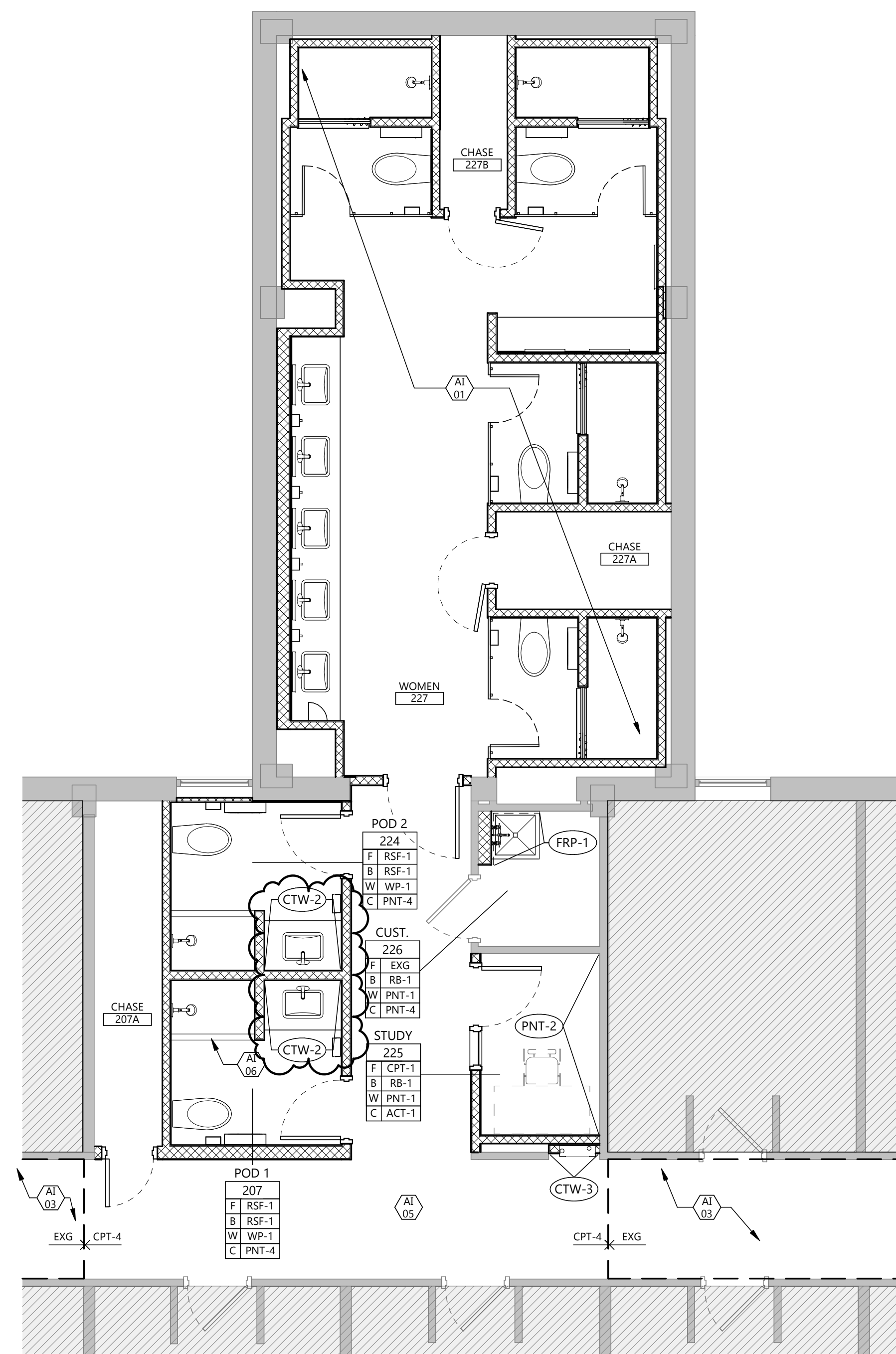
- (PNT-X) WALL FINISH SYMBOL
- (CTF-X) FLOOR FINISH SYMBOL
- (EXG) EXISTING FLOOR FINISH TO REMAIN

KEYNOTE LEGEND:

- <<< INDICATES KEYNOTE ON PLAN
- A1 01 SEE FIRST FLOOR FINISH PLAN ON A901 KEYNOTES, FINISHES, AND REFERENCES IN THIS AREA.
- A1 03 PROVIDE CPT-5 IN HALLWAY AS ALTERATE #5.
- A1 05 MATCH EXISTING WALL AND BASE FINISHES IN THIS AREA
- A1 06 PROVIDE ALTRO SHOWER TRANSITION PIECE AT ALL SHOWERS. (TYPICAL)



2 FINISH PLAN - SECOND / THIRD FLOORS - MENS
A902 1/4" = 1'-0"



1 FINISH PLAN - SECOND / THIRD FLOORS - WOMENS
A902 1/4" = 1'-0"

- GENERAL FINISH NOTES**
- REFER TO FINISH PLANS, INTERIOR ELEVATIONS, AND REFLECTED CEILING PLANS FOR ADDITIONAL FINISH LOCATIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALLOWING FOR DELIVERY LEAD TIMES FOR ALL FINISHES SPECIFIED WITHIN THE CONSTRUCTION SCHEDULE. ALL DELIVERY TIMES MUST BE CONFIRMED, AND ANY EXCESSIVE LEAD TIME MUST BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY TO ALLOW FOR RE-SPECIFICATION IF NECESSARY.
 - CONTRACTOR SHALL FOLLOW MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION OF ALL MATERIALS.
 - WHERE WALL FINISH CHANGES OCCUR, TERMINATE AT INSIDE CORNERS, UNO.
 - ALL WALLS TO RECEIVE (PNT-1), UNO. REFER TO FINISH PLANS FOR MORE INFORMATION.
 - ALL TRANSITIONS OF FLOOR FINISH MATERIALS SHALL BE LOCATED DIRECTLY UNDER CENTER OF DOOR, WHERE OCCURS, UNO. AT SLIDING DOORS, TRANSITIONS SHALL BE LOCATED ON THE INSIDE FACE OF DOOR, UNO.
 - ALL CRACKS, HOLES, IMPERFECTIONS IN EXISTING WALLS, PARTITIONS OR GYP BOARD SHALL BE FILLED WITH PATCHING PLASTER AND SMOOTHED OFF TO MATCH ADJOINING SURFACES.
 - ALL SEALANTS TO MATCH SURFACE IN WHICH THEY OCCUR.
 - JOINTS IN RESILIENT BASE SHALL NOT OCCUR CLOSER THAN 6" FROM CORNER AND SHALL BE BUTTED TIGHTLY TOGETHER.
 - ALL MISCELLANEOUS ITEMS SCHEDULED TO BE PAINTED, INCLUDING MECHANICAL AND ELECTRICAL, PAINT TO MATCH ADJACENT SURFACE.
 - UPON COMPLETION, REMOVE ALL PAINT FROM WHERE IT HAS SPILLED, SPLASHED OR SPLATTERED ON EXPOSED SURFACES.
 - EXAMINE ALL FINISH SURFACES AFTER COMPLETION OF WORK AND PROCEED WITH "TOUCH-UP" AS REQUIRED.
 - UNDERSIDE OF SOFFITS (WHERE OCCURS) TO RECEIVE A FINISH TO MATCH THE ADJACENT SOFFIT VERTICAL FINISH, UNO.
 - ALL VERTICAL SURFACES WHERE NEW FLOORING IS INDICATED SHALL RECEIVE WALL BASE (RB-1), UNO.
 - PAINT CEILING ACCESS PANELS WHERE THEY OCCUR TO MATCH ADJACENT CEILING FINISH.
 - STAINED AND PAINTED SURFACES SHALL BE FINISHED SUCH THAT JOINTS ARE NOT VISIBLE WHEN VIEWED FROM ANY ANGLE AS DETERMINED BY THE ARCHITECT.
 - ALL GYP BOARD CEILINGS AND SOFFITS TO BE (PNT-4), UNO. REFER TO REFLECTED CEILING PLAN AND CEILING DETAILS FOR MORE FINISH INFORMATION.
 - PROVIDE CORNER GUARDS AT OUTSIDE CORNERS AS INDICATED, UNO.
 - HOLLOW METAL DOORS AND HOLLOW METAL FRAMES SHALL BE PAINTED TO MATCH (PNT-3) WHERE NEW WORK IS INDICATED. WITH THE EXCEPTION OF RESTROOM DOORS AND HOLLOW METAL FRAMES TO BE (PNT-5).
 - CONTRACTOR TO PROVIDE FLOOR SEAMING DIAGRAM TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
 - ALL AREAS OF CONCRETE SLAB RECEIVING A FLOOR COVERING TO UNDERGO MOISTURE TESTING IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTION.
 - ALL RAILING OR GUARD RAILS TO BE PAINTED FIELD COLOR (PNT-3), UNO.
 - ALL OUTSIDE CORNERS OF TILE INSTALLATIONS TO RECEIVE (TS-1).

- FINISH LEGEND**
- (PNT-X) WALL FINISH SYMBOL
 - (CTF-X) FLOOR FINISH SYMBOL
 - (EXG) EXISTING FLOOR FINISH TO REMAIN

- KEYNOTE LEGEND:**
- <<< INDICATES KEYNOTE ON PLAN
 - AE 55 NEW CEILING TO BE INSTALLED BELOW EXISTING. RELOCATE EXISTING FIRE ALARM SYSTEMS TO NEW CEILING. MATCH ADJACENT CEILING HEIGHT.
 - AI 04 CONTINUE CARPET FROM HALLWAY 199B THROUGH STUDENT SPACE 102 AS ALTERNATE #2. IF ALTERNATE #5 IS ACCEPTED, PROVIDE CPT-5 THROUGHOUT HALLWAY 199C AND STUDENT SPACE 102.

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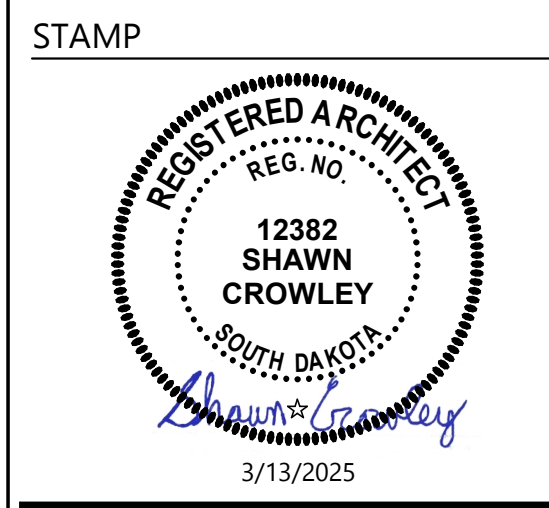
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STATE SD

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1	ADDENDUM 2	03/31/2025
CD	CONSTRUCTION DOCUMENTS	03/13/2025

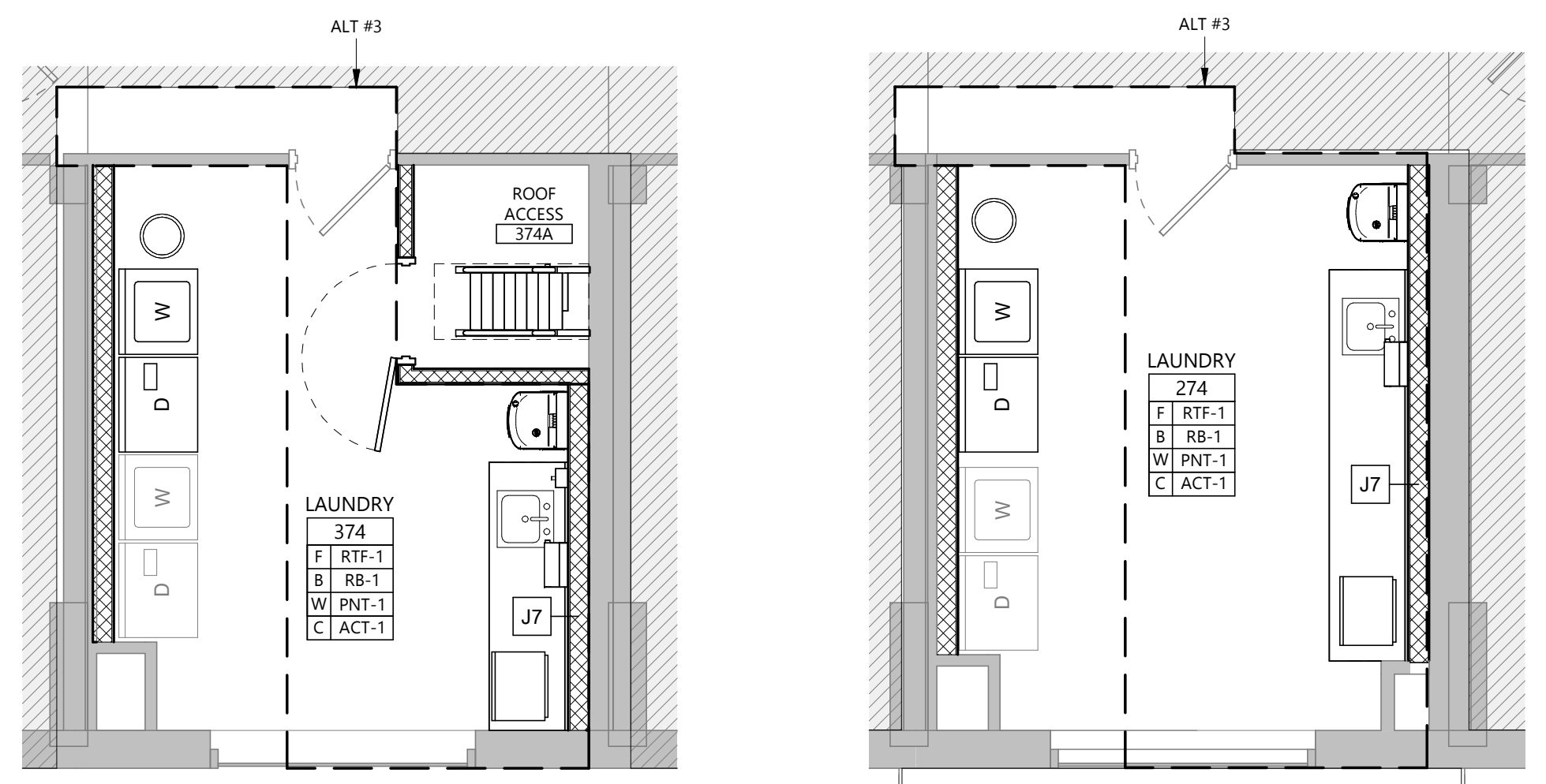
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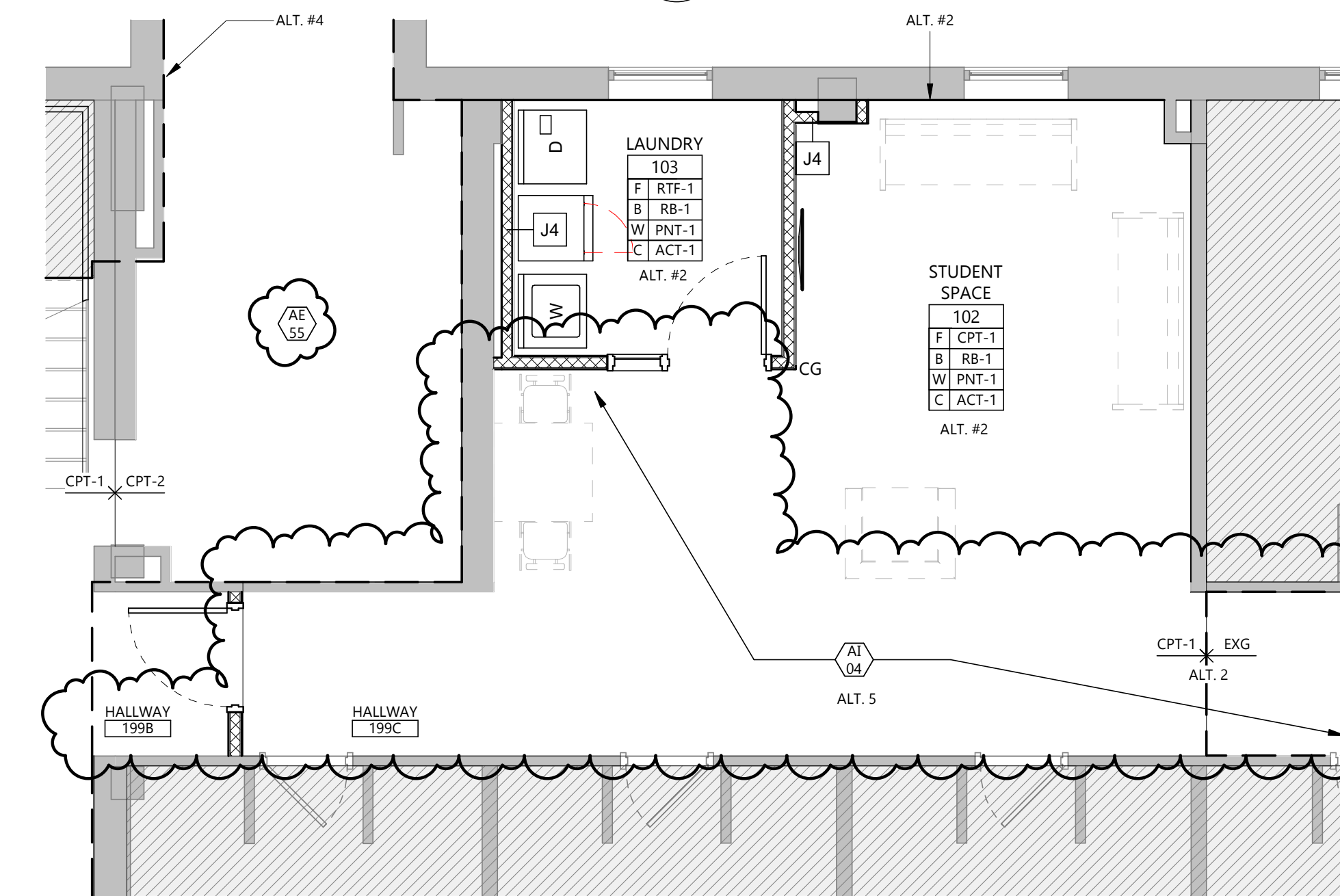
DRAWING TITLE
FINISH PLANS - ADD ALTERNATES

A904

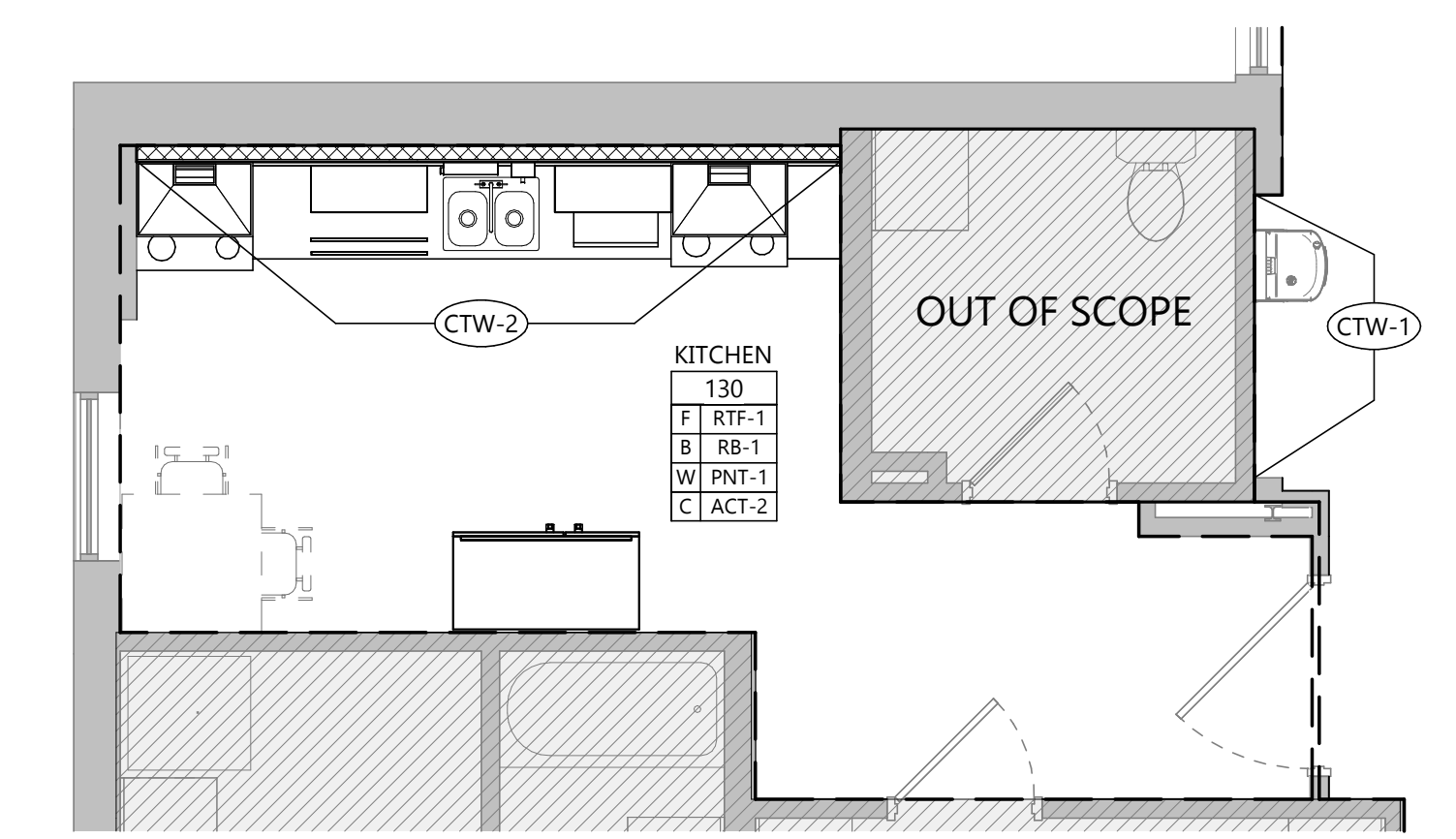


FINISH PLAN - SECOND FLOOR - LAUNDRY ROOM (ADD ALT 3)
1/4" = 1'-0"

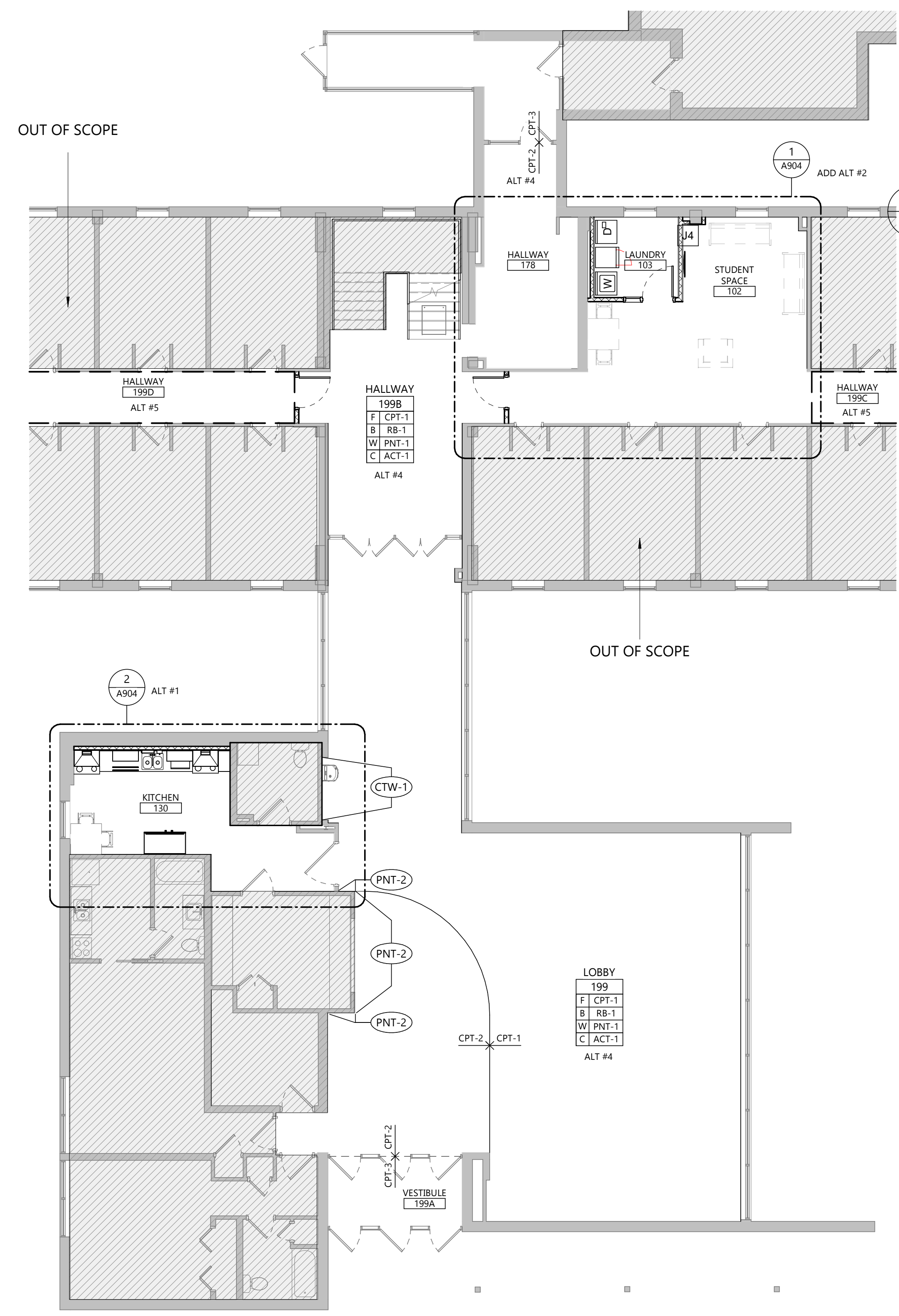
FINISH PLAN - THIRD FLOOR - LAUNDRY ROOM (ADD ALT 3)
1/4" = 1'-0"



FINISH PLAN - FIRST FLOOR - LAUNDRY / STUDENT SPACE (ADD ALT 2)
1/4" = 1'-0"



FINISH PLAN - FIRST FLOOR - KITCHEN (ADD ALT 1)
1/4" = 1'-0"



FINISH PLAN - FIRST FLOOR - LOBBY (ADD ALT 4)
1/8" = 1'-0"

MATERIAL IDENTIFICATION CODES		
06.4000	FRP	GLASS-FIBER-REINFORCED PLASTIC PANELING
	FRP-1	MARLITE - STANDARD FRP - PEBBLE - CLASS C - SILVER
06.4116	PLAM	PLASTIC LAMINATE CLAD ARCHITECTURAL CABINETS
	PLAM-1	WILSONART - NEW AGE OAK 7938-38 (RESTROOMS ONLY).
	PLAM-2	WILSONART - FLORENCE WALNUT 7993-38 (CASEWORK).
09.3013	CTW	CERAMIC TILING
	CTW-1	VIRGINIA TILE - ORION - WHITE - 12X12 - STACKED.
	CTW-2	RAGNO - GLACE - BLUE NOTTE - GLOSSY - 3X8 - VERTICAL STACKED (KITCHEN 130 BRICK INSTALL).
	CTW-3	RAGNO - GLACE - BLUE NOTTE - RAYE 3D - GLOSSY - 3X8 - VERTICAL STACKED.
09.5113	ACT	ACOUSTICAL PANEL CEILING
	ACT-1	ARMSTRONG - DUNE - WHITE
	ACT-2	ARMSTRONG - KITCHEN ZONE - WHITE
09.6513	RB, TS	RESILIENT BASE AND ACCESSORIES
	RB-1	JONISINITE BASEWORKS - 4 INCH W/TOE - BURNT UMBER.
	TS-1	SCHLUTER TRIM AS NEEDED.
09.6516	RSF	RESILIENT SHEET FLOORING
	RSF-1	ALTRO - AQUARIUS - HIPPO AQ12013.
09.6519	RTF	RESILIENT TILE FLOORING
	RTF-1	PATCRAFT - INSET - PURE GOLD - 18X36 - BRICK.
09.6813	CPT	TILE CARPETING
	CPT-1	MOHAWK - WILD HORIZONS - BLUEBONNET - 12X36 - BRICK ASHLAR.
	CPT-2	PATCRAFT - MOVING - WALK FORWARD - WANDER - 24X24 - BRICK.
	CPT-3	TARKETT - ABRASIVE ACTION II - MIDNIGHT BLUE - 24X24 - BRICK.
	CPT-4	1-1 FLOORING - KINETEX - CATALYST - ACCELERATOR - 24X24 - BRICK.
	CPT-5	1-1 FLOORING - KINETEX - CATALYST - MOLECULE - 24X24 - BRICK.
09.9000	PNT	INTERIOR/EXTERIOR PAINTING
	PNT-1	DIAMOND VOGEL - POWER LAUNCH 0572 - SEMIGLOSS.
	PNT-2	DIAMOND VOGEL - DAY SPA 0634 - SEMIGLOSS.
	PNT-3	DIAMOND VOGEL - ZEN RETREAT 0535 - SEMIGLOSS (HM DOORS & FRAMES TYPICAL).
	PNT-4	DIAMOND VOGEL - JUST ABOUT WHITE 0024 - FLAT (CEILING).
	PNT-5	DIAMOND VOGEL - FEATHER STONE 0229 - SEMIGLOSS (RESTROOM HM DOORS & FRAMES ONLY).
10.2113	PTC	PLASTIC TOILET COMPARTMENTS
	PTC-1	SCRANTON - ARIA PARTITIONS - LINEN - TRADITIONAL 2000.
10.2600	VARIABLES	WALL AND DOOR PROTECTION
	CG-1	ACROVYN - LG SERIES - MATCH ADJACENT WALLS.
	WP-1	ALTRO - WHITEROCK - HESSIAN - 4X8 - SATIN FINISH.
	WP-2	ALTRO - TEGULIS - DISTANT THUNDER - CHEVRON - 4X8.
	WP-3	ALTRO - TEGULIS - WARM WOODGRAIN - 4X8.
10.2800	VARIABLES	TOILET, BATH, AND LAUNDRY ACCESSORIES
		SEE SPECS
12.3661.16	SSF	SOLID SURFACE FABRICATION
	SSF-1	WILSONART - DUSK ICE.
12.3661.19	QTZ	QUARTZ AGGLOMERATE COUNTERTOPS
	QTZ-1	CAMBRIA - PORTRUSH (RESTROOMS).

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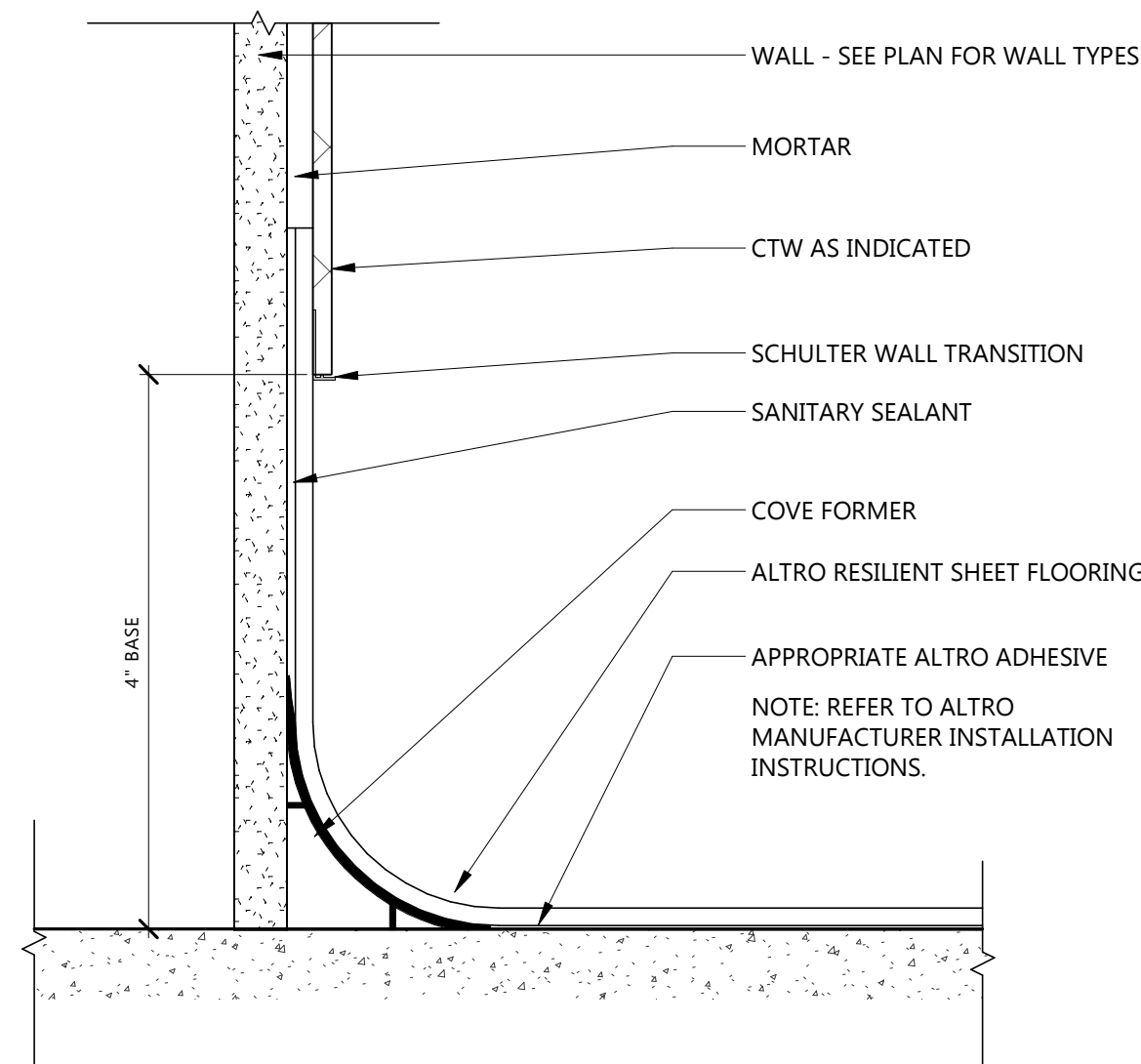
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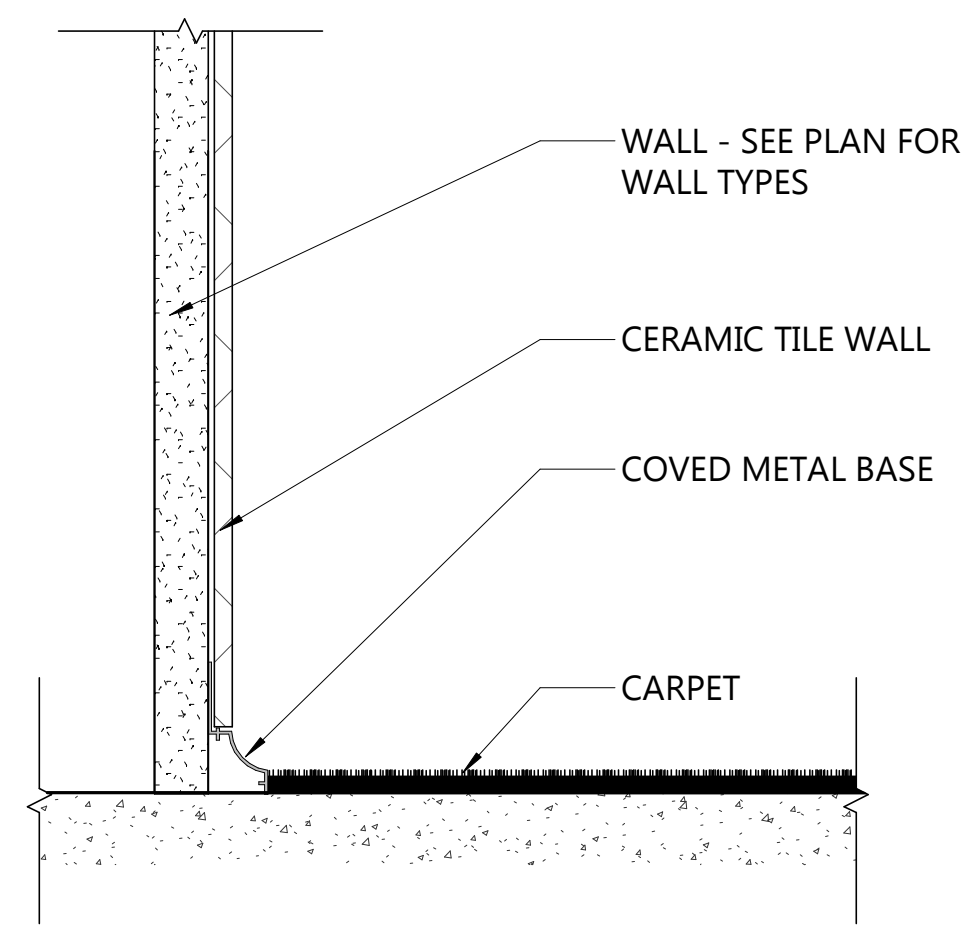


DRAWING TITLE
INTERIOR FINISH DETAILS & MATERIAL IDENTIFICATION CODES

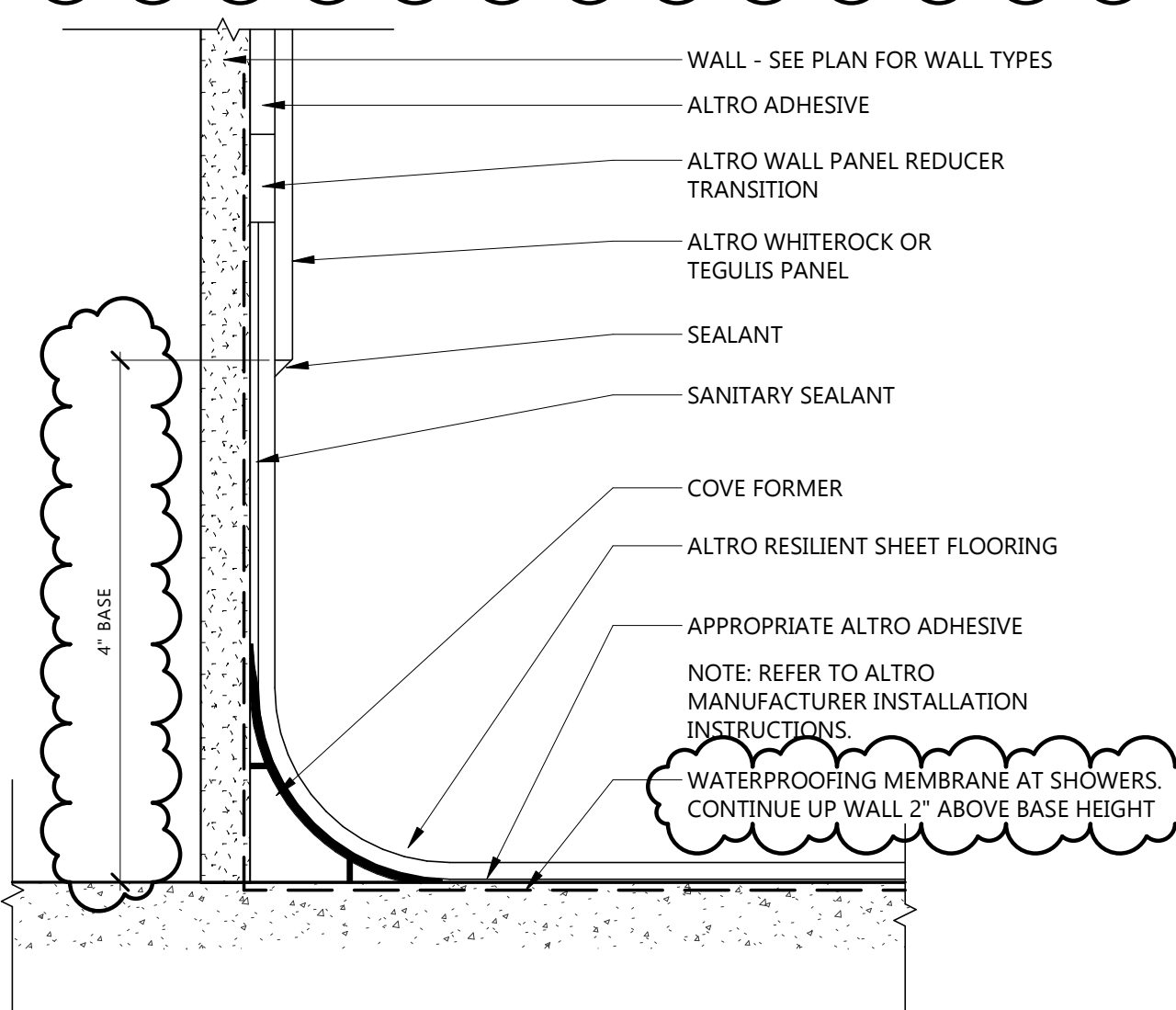
A921



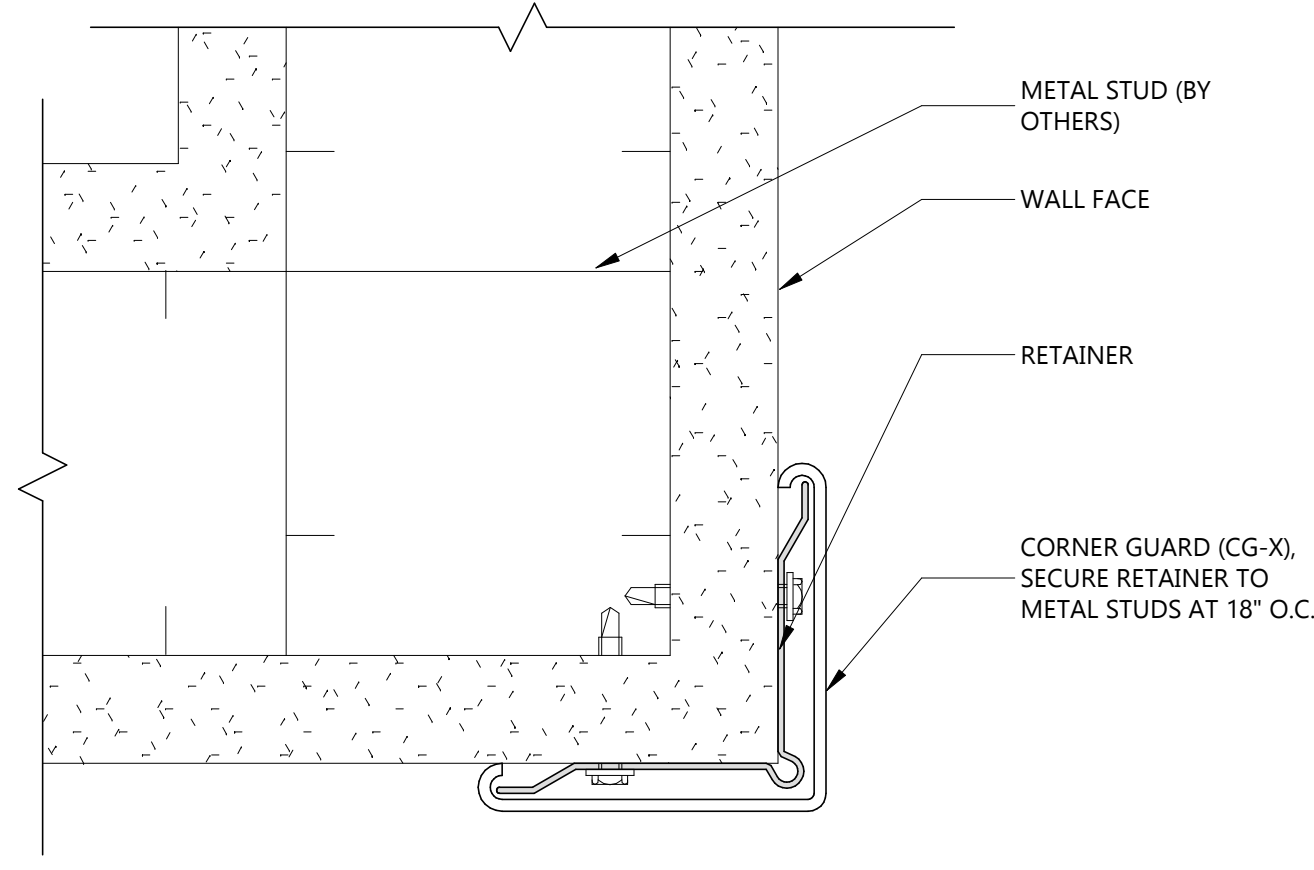
10 FINISH DETAIL - INTEGRAL COVE BASE AT CTW
A921 1 1/2" = 1'-0"



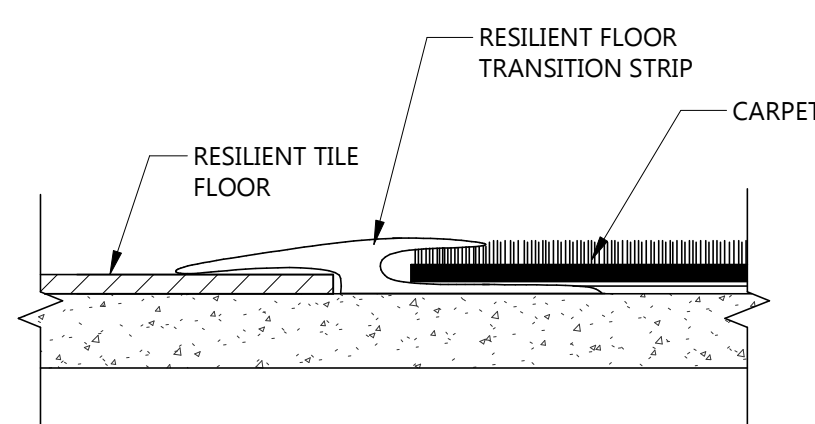
9 FINISH DETAIL - CERAMIC WALL TILE TO CARPET
A921 1 1/2" = 1'-0"



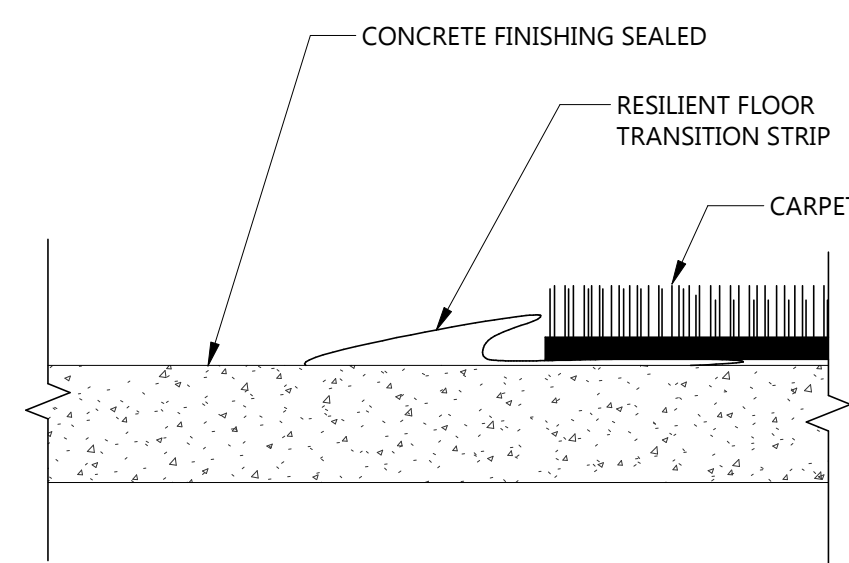
8 FINISH DETAIL - INTEGRAL COVE BASE AT WALL PROTECTION
A921 NOT TO SCALE



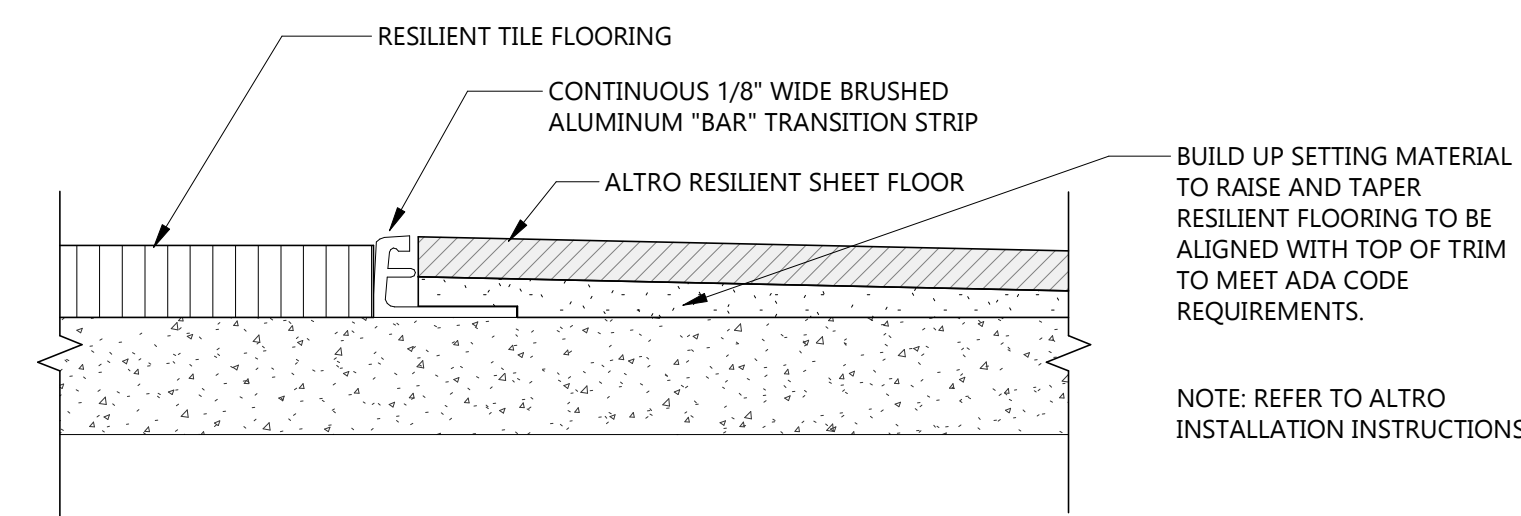
7 FINISH DETAIL - CORNER GUARD
A921 NOT TO SCALE



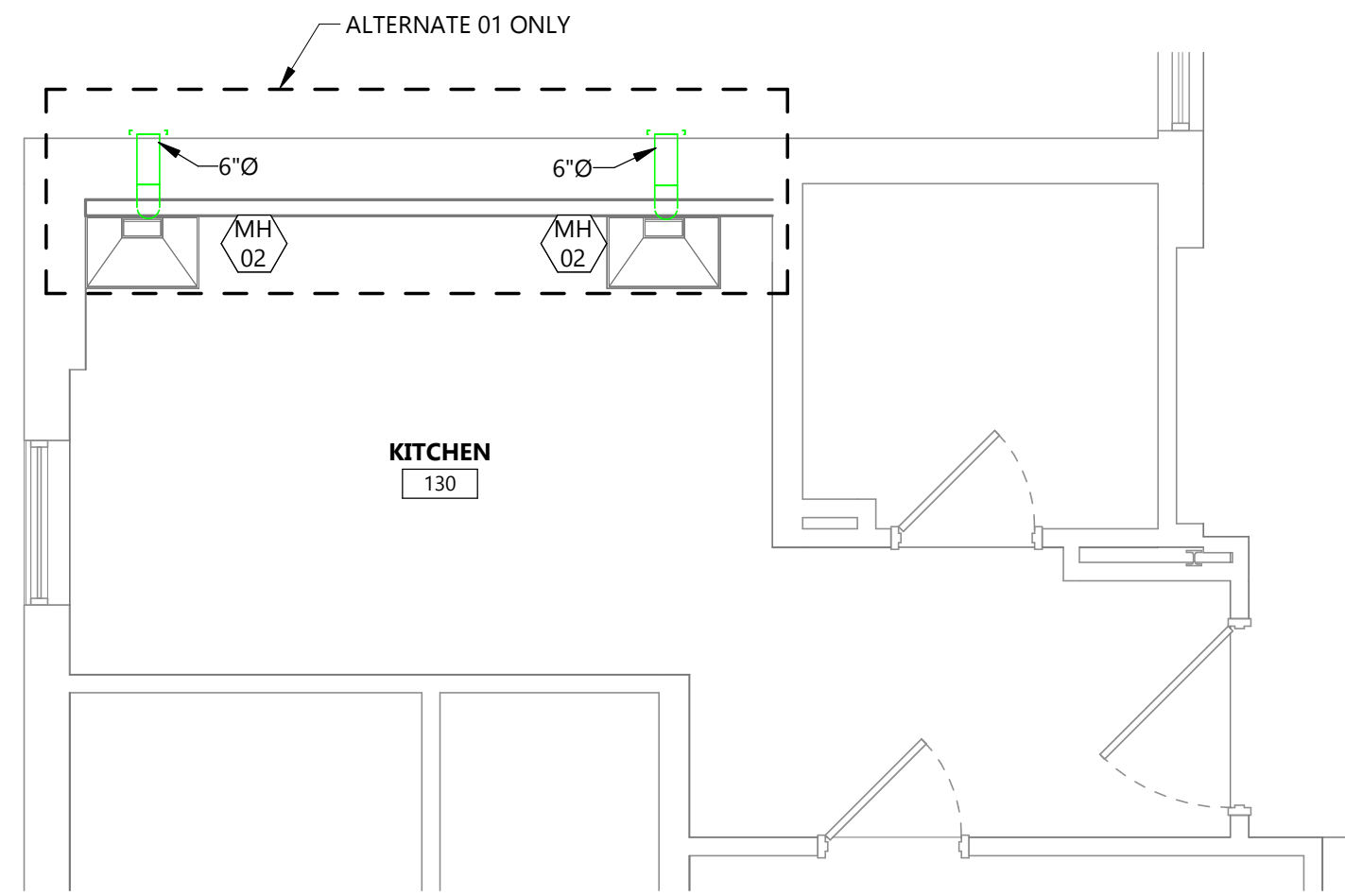
4 FINISH DETAIL - RESILIENT TILE/SHEET TO CARPET W/ RESILIENT TRANSITION
A921 NOT TO SCALE



3 FINISH DETAIL - CONCRETE TO CARPET
A921 NOT TO SCALE

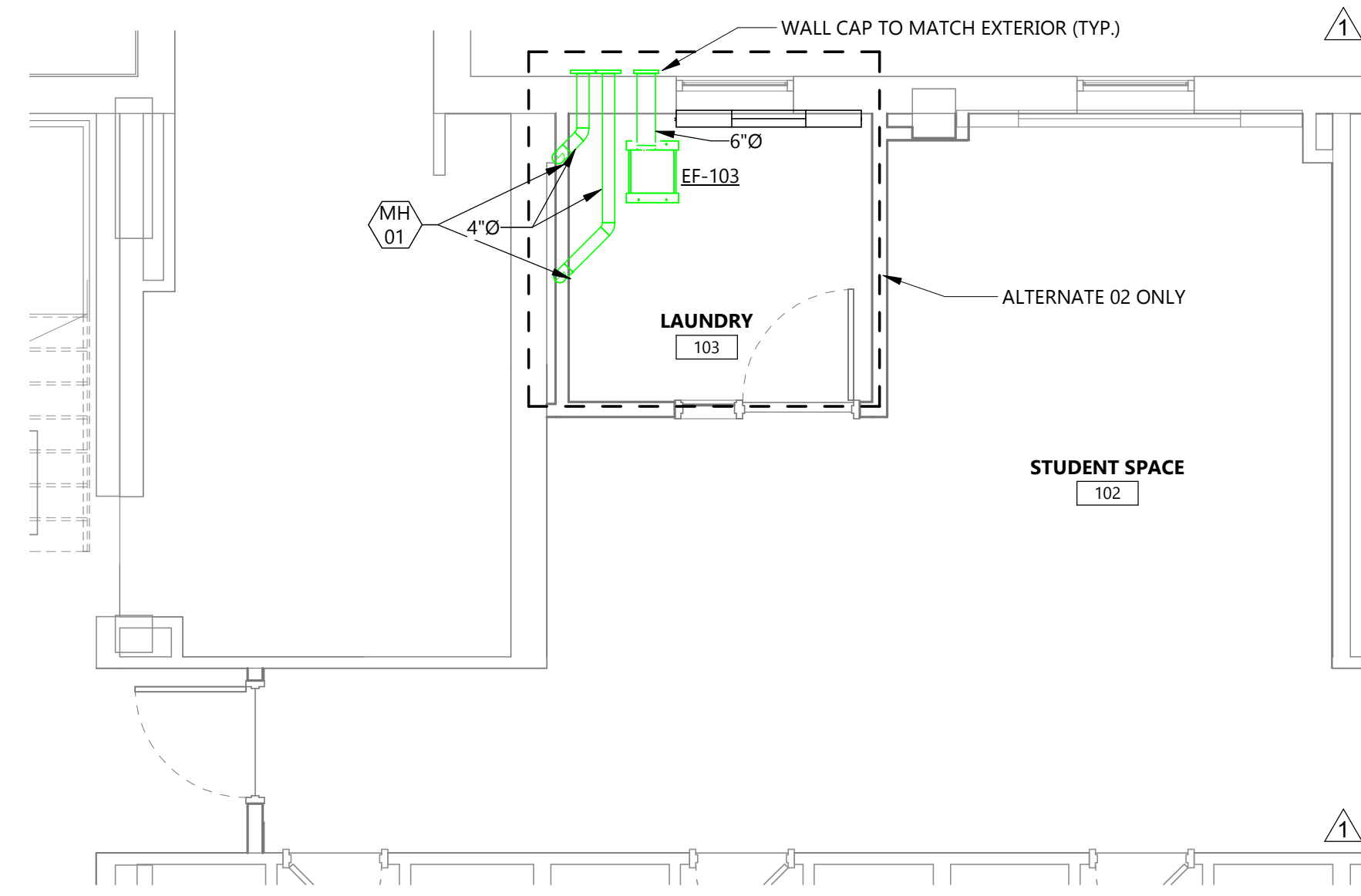


2 FINISH DETAIL - RESILIENT TILE TO RESILIENT TILE/SHEET
A921 NOT TO SCALE



3 FIRST FLOOR KITCHEN MECHANICAL VENTILATION PLAN (ALT. 01 ONLY)

M301 1/4" = 1'-0"

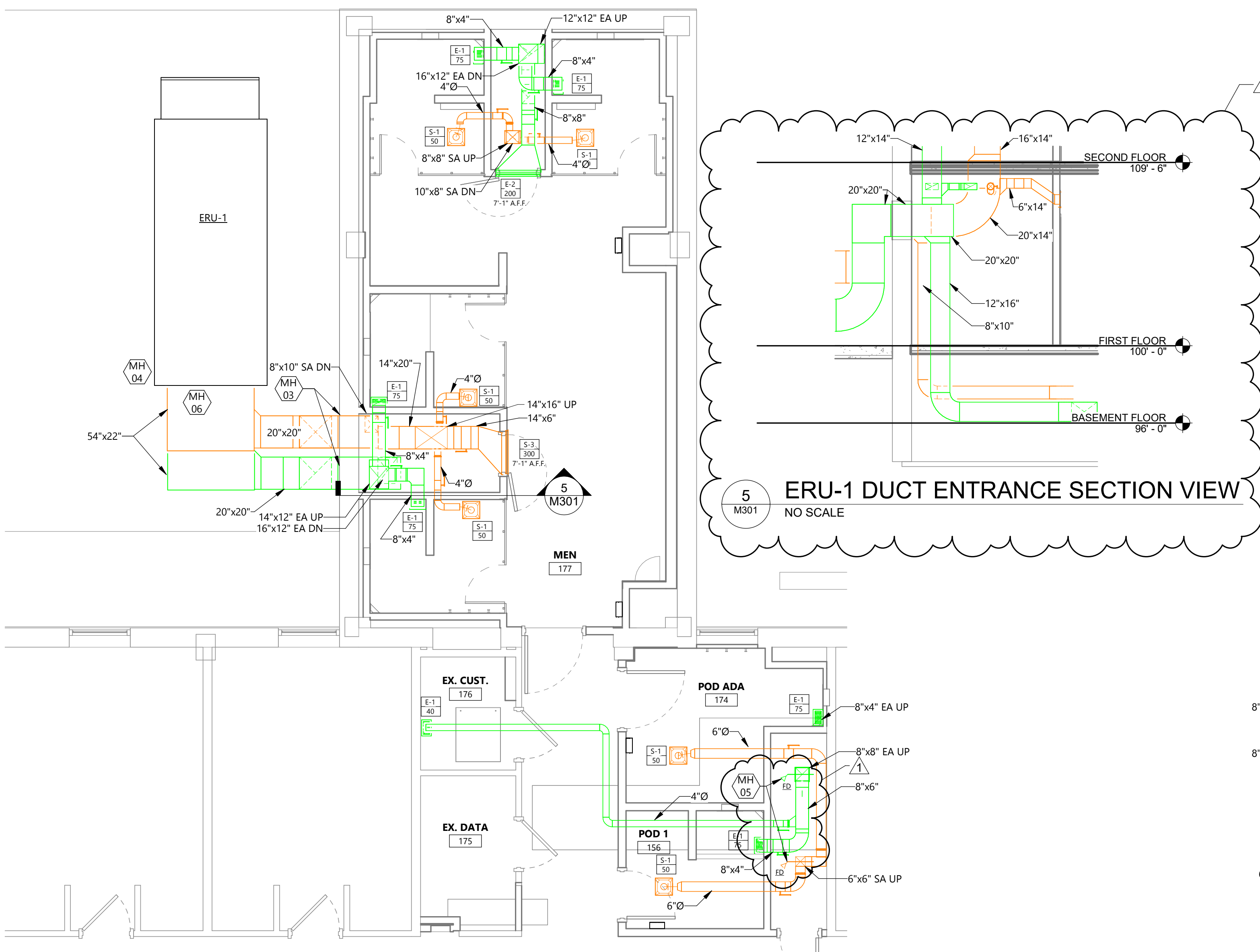


4 FIRST FLOOR STUDENT SPACE MECHANICAL VENTILATION PLAN (ALT. 02 ONLY)

M301 1/4" = 1'-0"

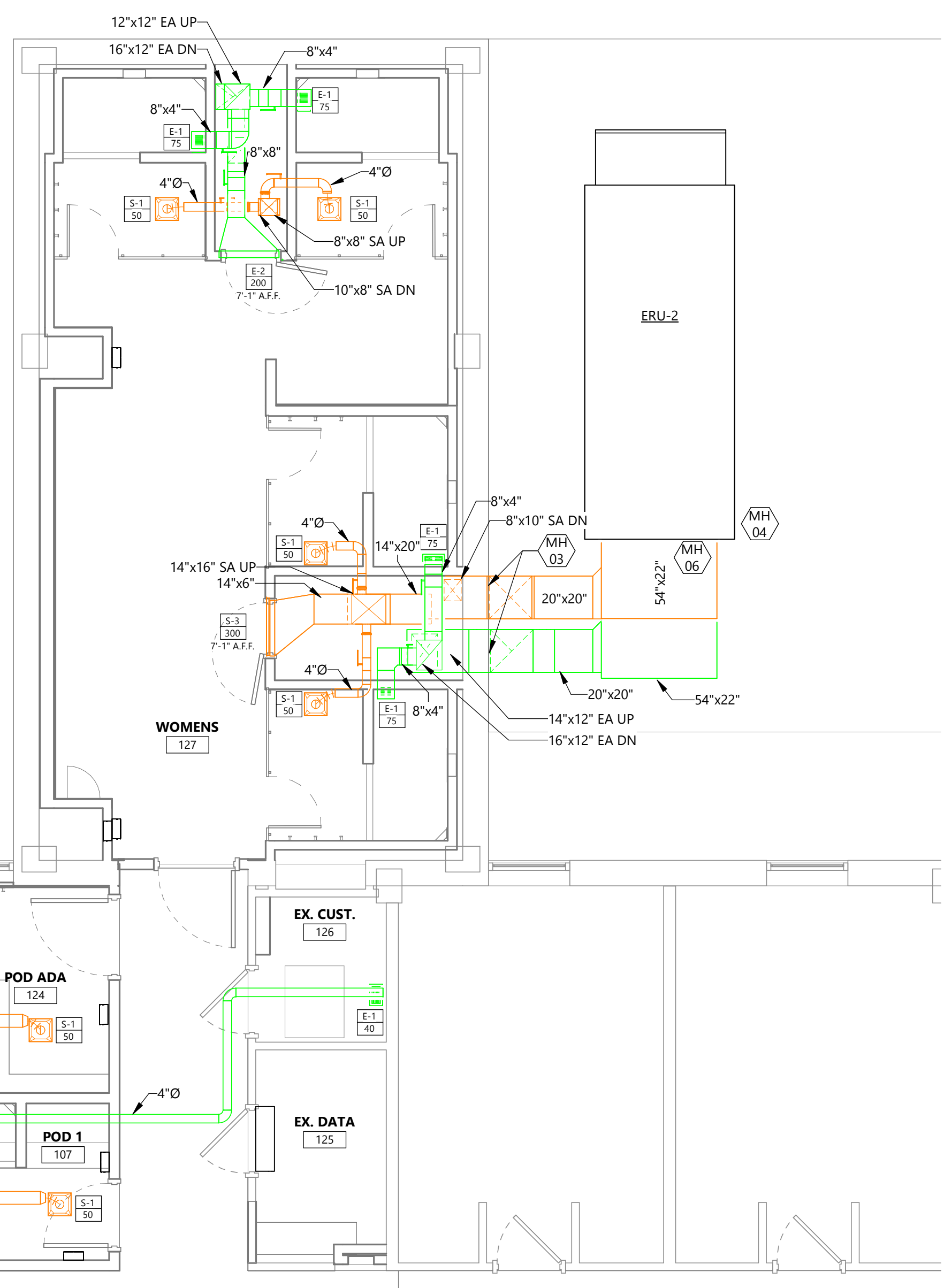
- GENERAL NOTES**
- MECHANICAL CONTRACTOR SHALL SEAL ANNULAR SPACE AT ALL FLOOR AND CEILING PENETRATIONS BETWEEN FLOORS WITH NONCOMBUSTIBLE MATERIAL TO RESIST THE PASSAGE OF FIRE AND SMOKE.
 - ALL EXTERIOR DUCTWORK SHALL BE PRE-ASSEMBLED PHENOLIC TYPE PER SPECIFICATIONS.

- KEYNOTE LEGEND:**
- <<< INDICATES KEYNOTE ON PLAN
 - MH 01 UNDER ALTERNATE 02 ONLY, 4" DRYER VENT EA DOWN TO DRYER BOX DB-425 OR SIMILAR. DRYER VENT TERMINATED AT EXTERIOR WALL WITH 4" WALL CAP. WALL CAP COLOR TO MATCH BRICK.
 - MH 02 UNDER ALTERNATE 01 ONLY, OWNER FURNISHED RANGE HOOD, INSTALLED BY G.C. INSTALL & ROUTE 6" EA TO WALL CAP WITH BACKDRAFT DAMPER.
 - MH 03 ROUTE & INSTALL DUCTWORK THROUGH EXISTING WINDOW OPENING TO ENTER BUILDING.
 - MH 04 PROVIDE SLAB MOUNT DUCT SUPPORTS AS REQUIRED PER SMACNA & MANUFACTURER RECOMMENDATIONS. SUPPORT MATERIAL SHALL BE SUITABLE & TREATED FOR OUTDOOR APPLICATION.
 - MH 05 INSTALL FIRE DAMPER AT THE DUCT PENETRATION OF HORIZONTAL ASSEMBLY BETWEEN 1ST AND 2ND FLOORS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - MH 06 INSTALL FULL SIZE SUPPLY & EXHAUST PLENUM AT ERU. COORDINATE EXACT SIZE PRIOR TO ORDER.



5 ERU-1 DUCT ENTRANCE SECTION VIEW
NO SCALE

M301



1 FIRST FLOOR WOMEN'S BATHROOM MECHANICAL VENTILATION PLAN

M301 1/4" = 1'-0"

2 FIRST FLOOR MEN'S BATHROOM MECHANICAL VENTILATION PLAN

M301 1/4" = 1'-0"

MARK	DESCRIPTION	DATE
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CD	CONSTRUCTION DOCUMENTS	03/13/2025

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DRAWING TITLE
 FIRST FLOOR VENTILATION PLANS

M301

GENERAL NOTES

- MECHANICAL CONTRACTOR SHALL SEAL ANNULAR SPACE AT ALL FLOOR AND CEILING PENETRATIONS BETWEEN FLOORS WITH NONCOMBUSTIBLE MATERIAL TO RESIST THE PASSAGE OF FIRE AND SMOKE.



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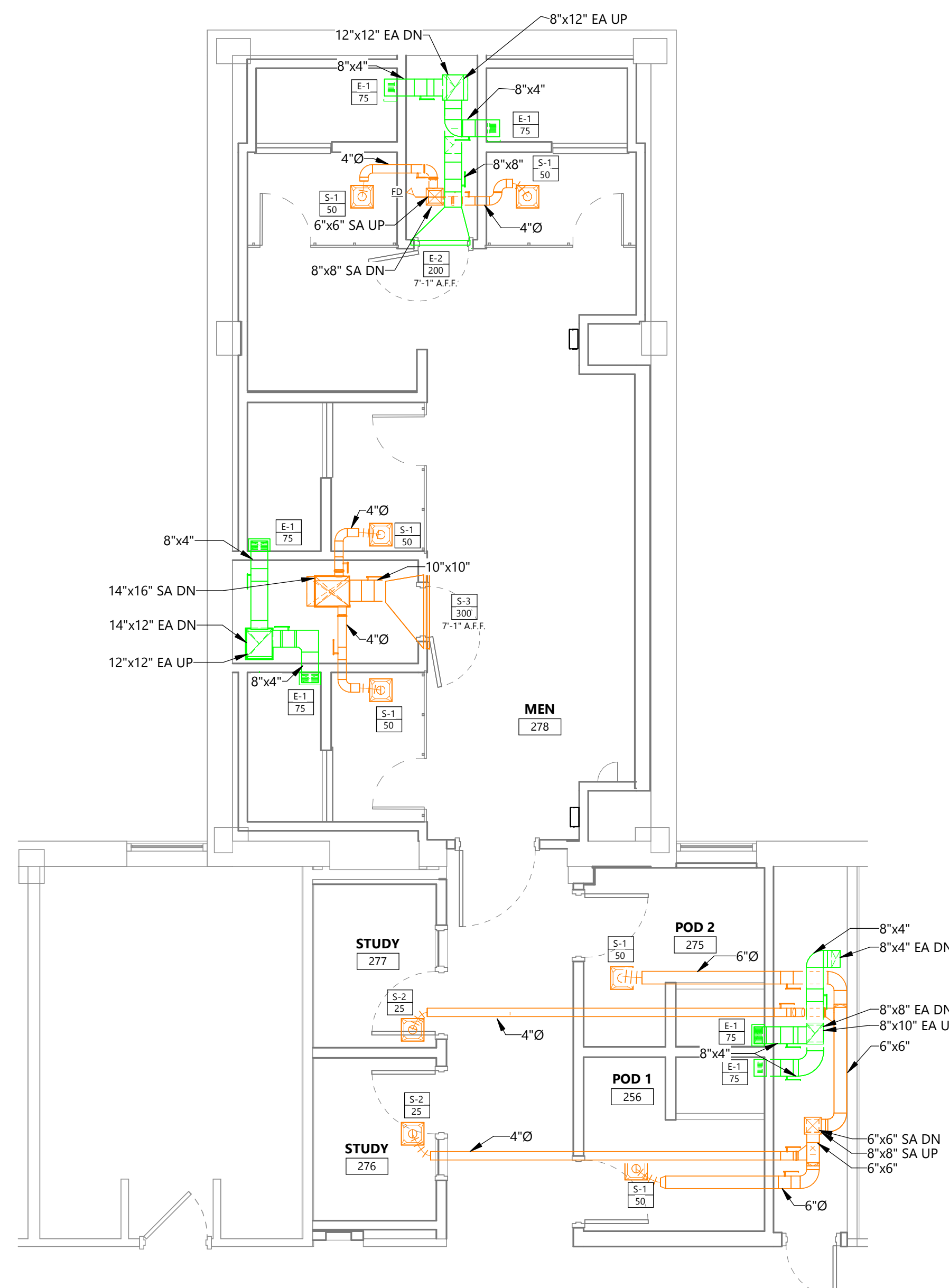
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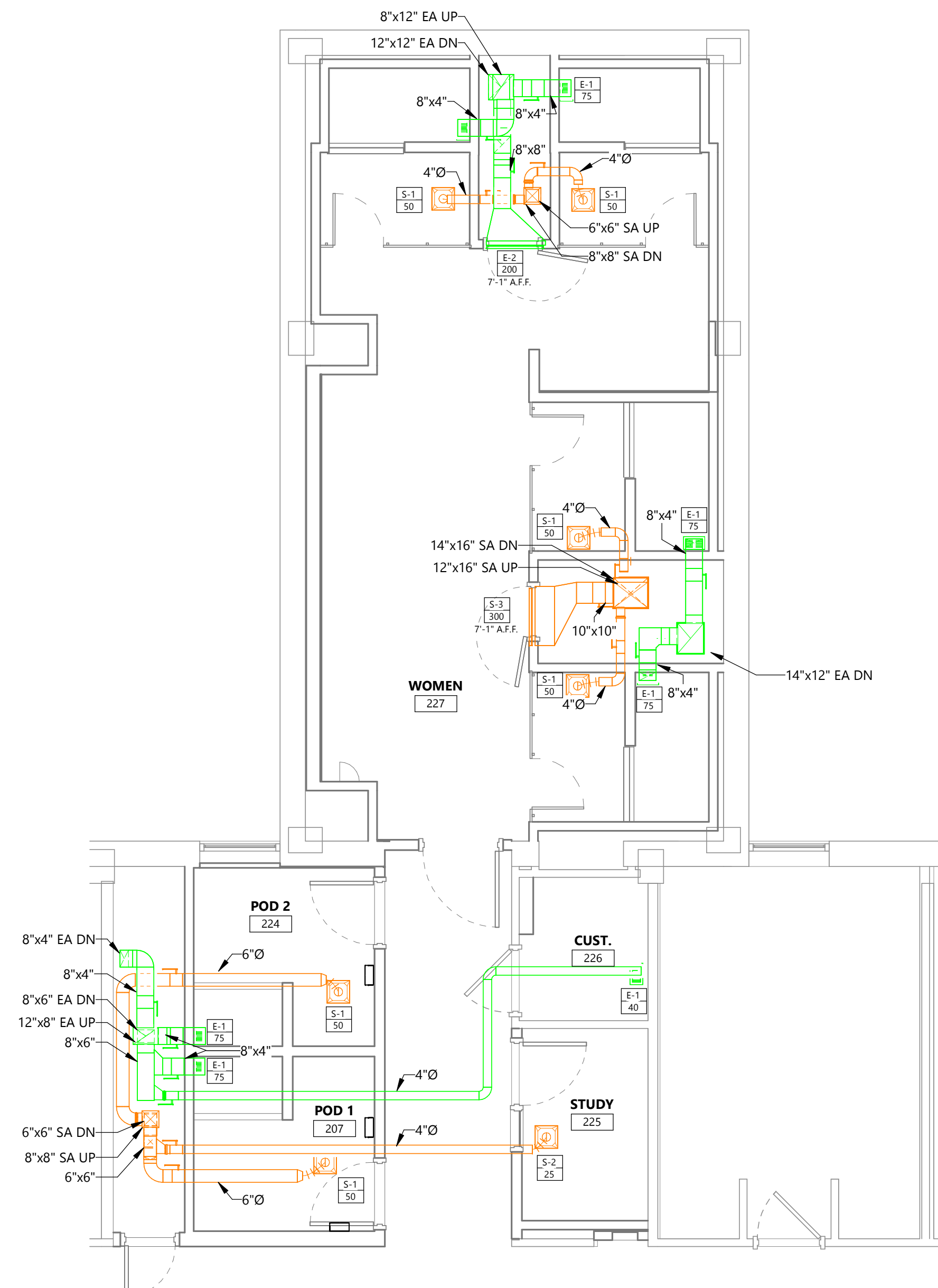


DRAWING TITLE
 SECOND FLOOR VENTILATION PLANS

M302



2 SECOND FLOOR MEN'S BATHROOM VENTILATION PLAN
 1/4" = 1'-0"



1 SECOND FLOOR WOMEN'S BATHROOM VENTILATION PLAN
 1/4" = 1'-0"

GENERAL NOTES

- MECHANICAL CONTRACTOR SHALL SEAL ANNULAR SPACE AT ALL FLOOR AND CEILING PENETRATIONS BETWEEN FLOORS WITH NONCOMBUSTIBLE MATERIAL TO RESIST THE PASSAGE OF FIRE AND SMOKE.

KEYNOTE LEGEND:

<< << INDICATES KEYNOTE ON PLAN

MH 01 INSTALL FIRE DAMPER AT THE DUCT PENETRATION OF HORIZONTAL ASSEMBLY BETWEEN 2ND AND 3RD FLOORS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.



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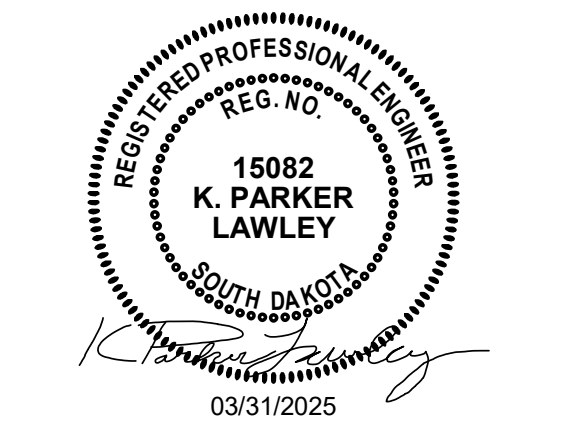
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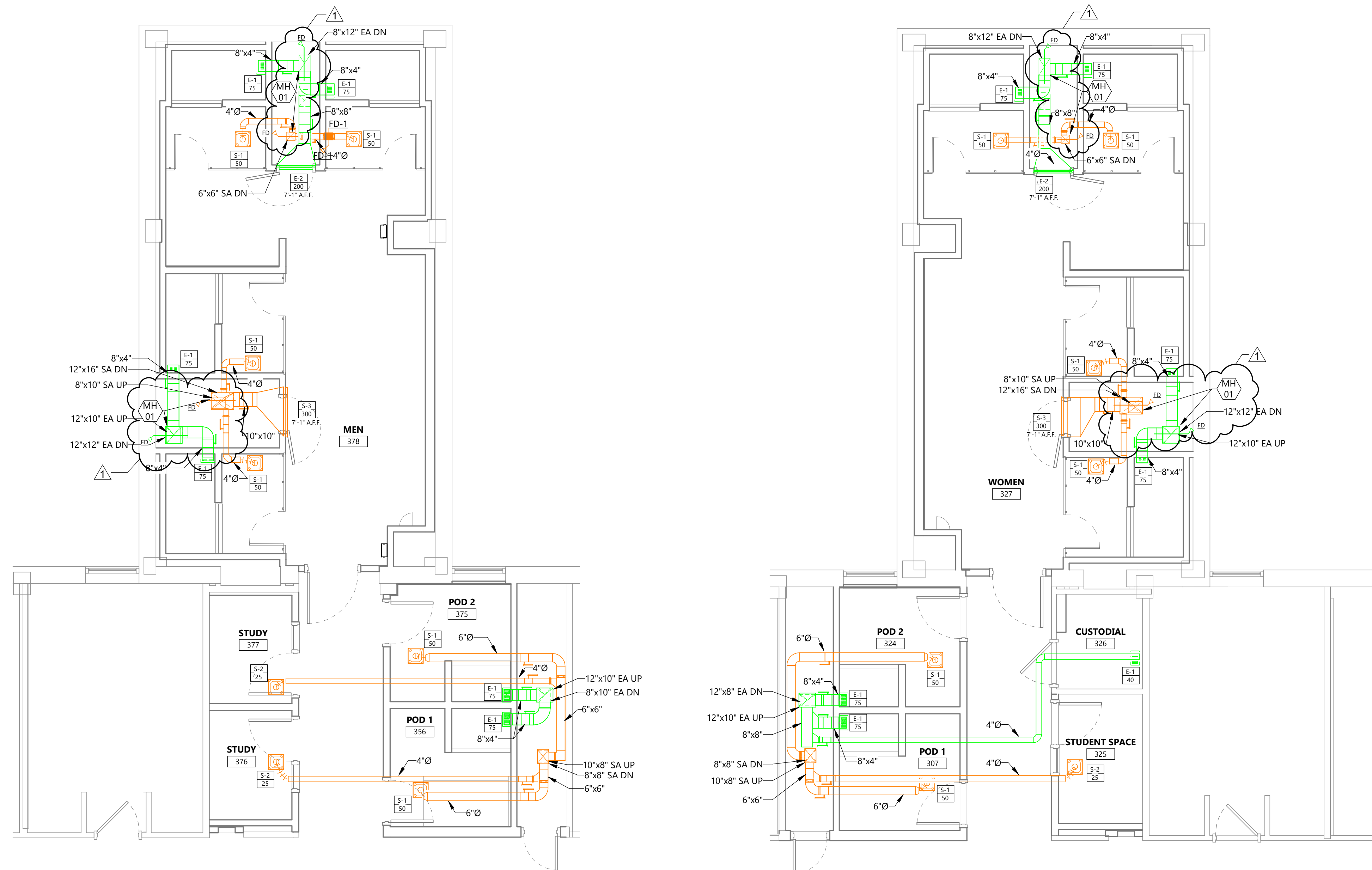
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DRAWING TITLE
THIRD FLOOR VENTILATION PLANS

M303



2 THIRD FLOOR MEN'S BATHROOM VENTILATION PLAN
1/4" = 1'-0"

1 THIRD FLOOR WOMEN'S BATHROOM VENTILATION PLAN
1/4" = 1'-0"

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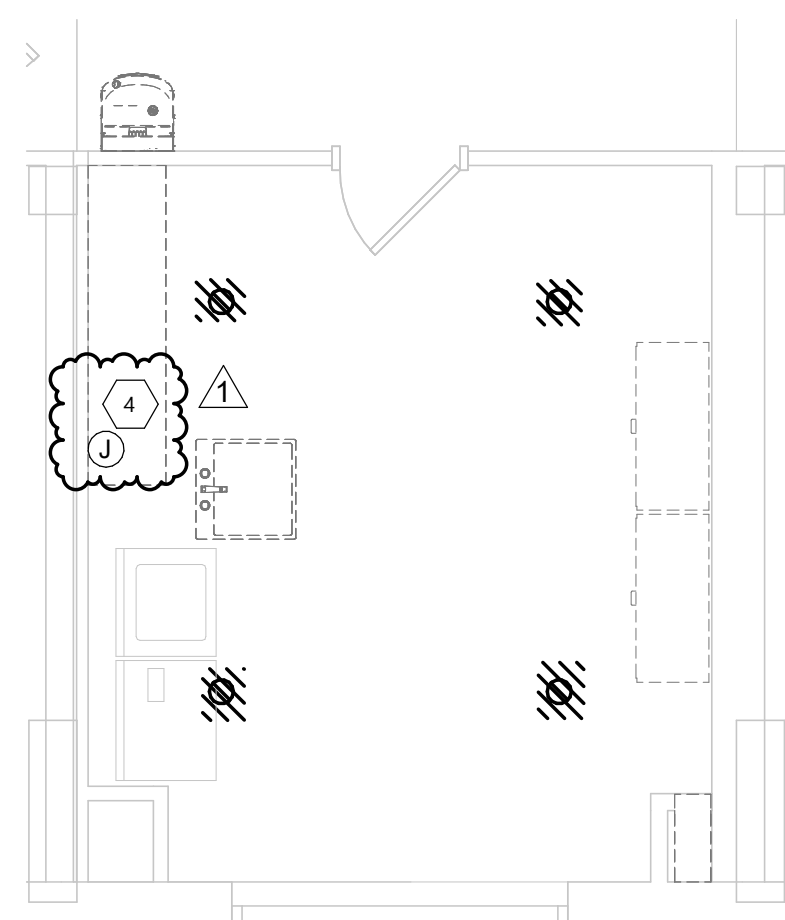
DRAWING TITLE
DEMOLITION PLAN - ADD ALTERNATIVES

E104

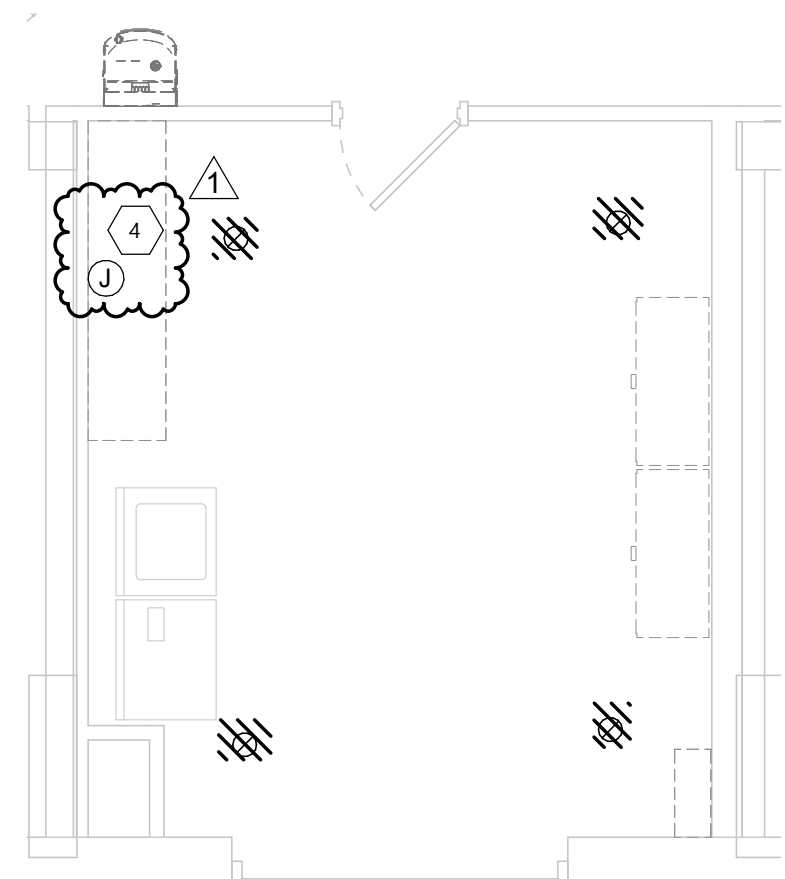
KEYNOTE LEGEND:

◻ ◻ ◻ INDICATES KEYNOTE ON PLAN

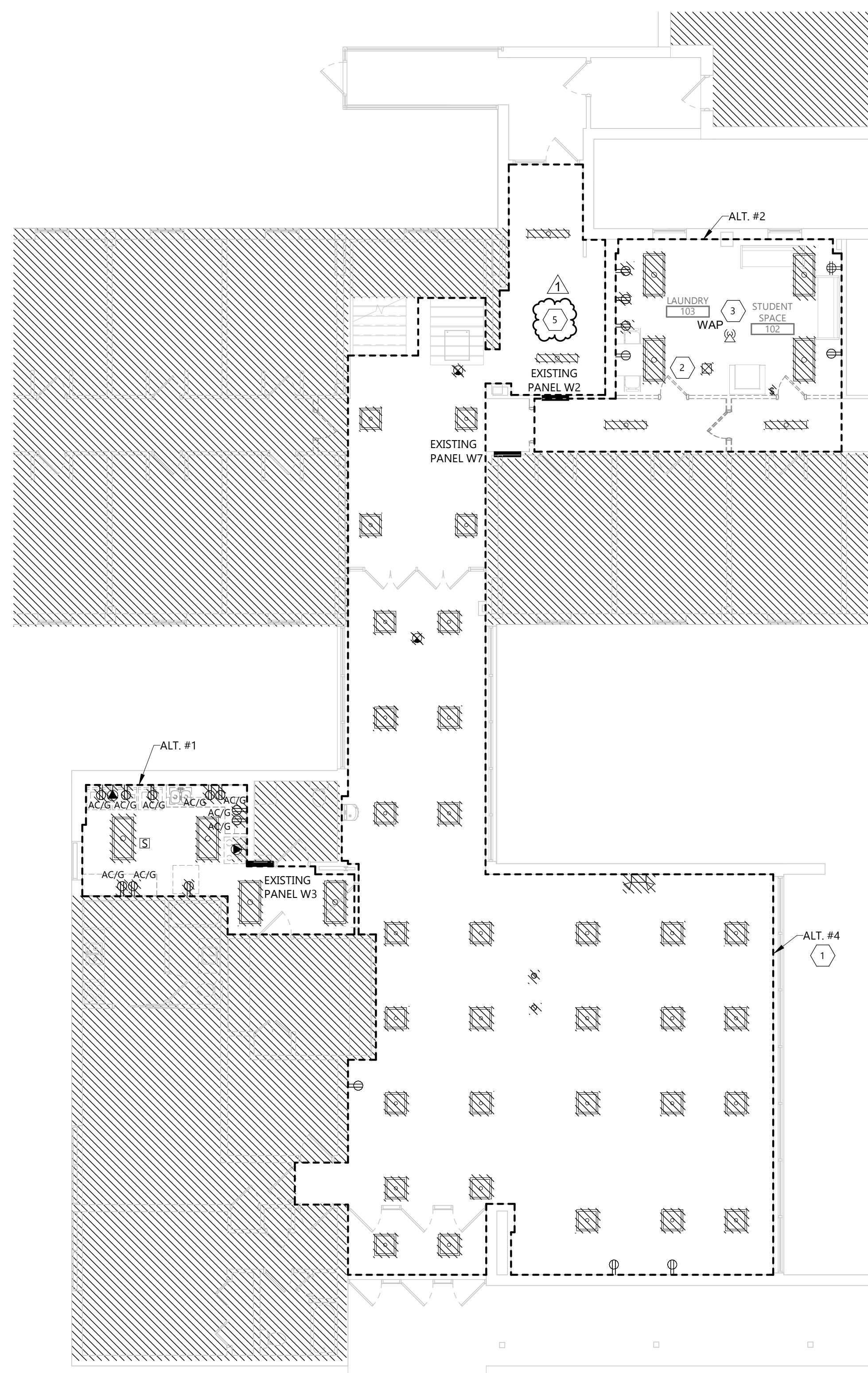
1. UNDER ALTERNATE #4 LIGHTING SHALL BE REPLACED. ALL CEILING MOUNTED DEVICES SHALL BE REMOVED, STORED, AND REINSTALLED UPON INSTALLATION OF NEW CEILING. SUPPORT ALL ABOVE CEILING CABLING PRIOR TO REMOVAL OF CEILING.
2. FIRE ALARM DEVICE SHALL BE REMOVED, STORED, AND REINSTALLED UPON INSTALLATION OF NEW CEILING.
3. COORDINATE WITH OWNER ON REMOVAL OF WIRELESS ACCESS POINT. SUPPORT ALL CABLING PRIOR TO REMOVAL OF CEILING.
4. SURFACE MOUNTED BOX SHALL BE DISCONNECTED AND RELOCATED TO EAST WALL. RE-ROUTE SURFACE RACEWAY AS NEEDED.
5. EXISTING CEILING MOUNTED DEVICES SHALL BE EXTENDED AND MOUNTED AT LOWER CEILING HEIGHT.



2 SECOND FLOOR DEMOLITION PLAN - LAUNDRY ROOM
E104 1/4" = 1'-0" N



3 THIRD FLOOR DEMOLITION PLAN - LAUNDRY
E104 1/4" = 1'-0" N



1 FIRST FLOOR DEMOLITION PLAN - KITCHEN/LOBBY PLAN
E104 1/8" = 1'-0" N



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DRAWING TITLE
CRAWL SPACE PLAN

E200.1

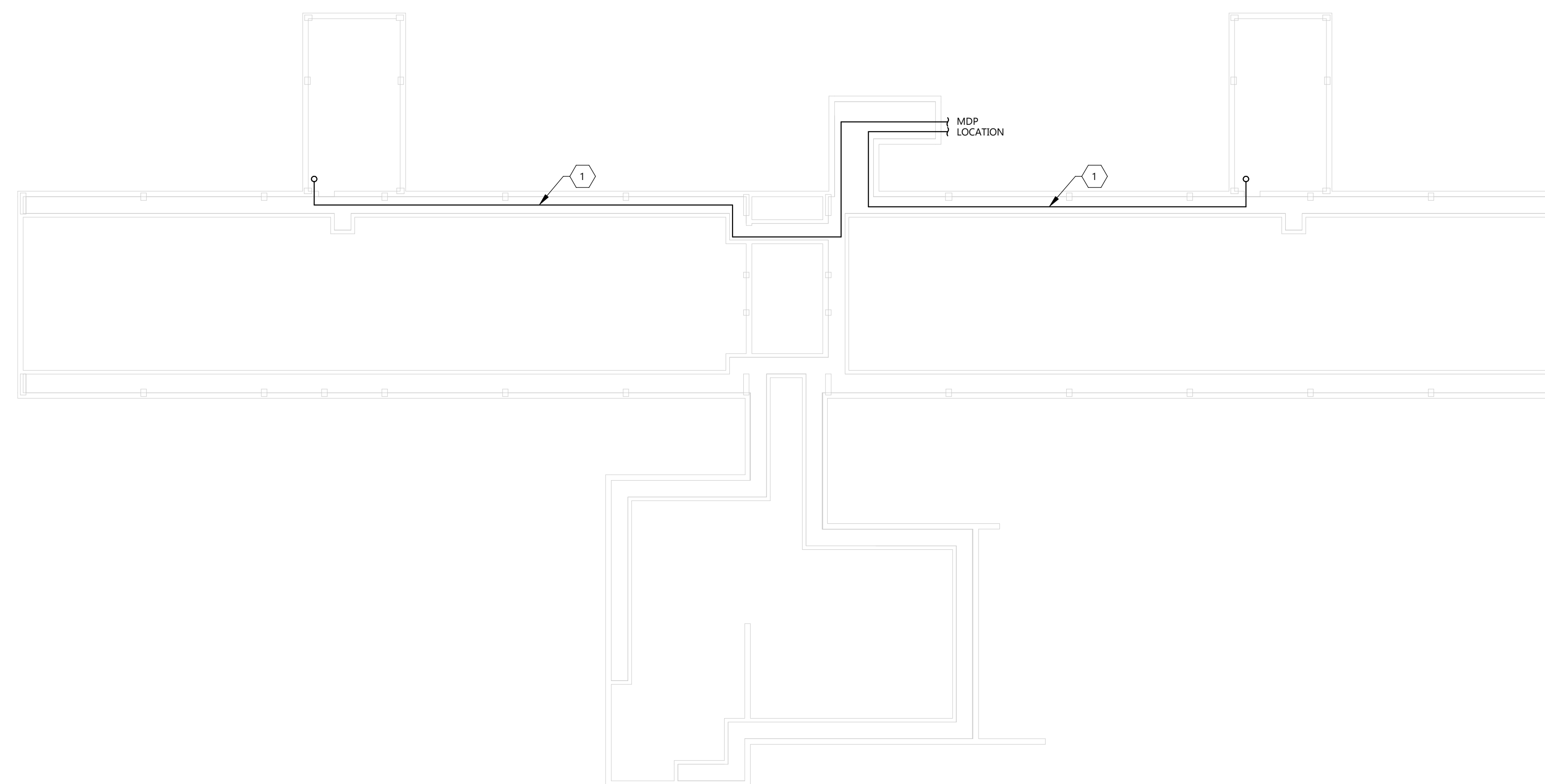
GENERAL NOTES

- A. LABEL ALL JUNCTION BOXES ABOVE ACCESSIBLE CEILING WITH INDELIBLE INK TO INDICATE PANEL AND CIRCUIT.
- B. LABEL ALL HOMERUNS WITH INDELIBLE INK TO INDICATE PANEL AND CIRCUIT.
- C. PROVIDE 4" HILTI PASS-THRU FOR CABLE PASSING THROUGH FIRE WALLS AND FLOORS.
- D. LABEL ALL DEVICES, INCLUDING SWITCHES, TO INDICATE PANEL AND CIRCUIT. USE ADHESIVE MYLAR TYPE.
- E. AFTER DEMOLITION, EC SHALL DETERMINE THE NUMBER OF CIRCUITS AVAILABLE AND CONSULT WITH ENGINEER TO REVISE CIRCUITRY AS REQUIRED.
- F. PROVIDE #10 CONDUCTORS THROUGHOUT ALL 120V, 20A BRANCH CIRCUITS OF 100'-0" OR GREATER IN LENGTH.
- G. PROVIDE ALL DEVICES AND ASSOCIATED WIRING AS SHOWN.

KEYNOTE LEGEND:

⬡ <<< INDICATES KEYNOTE ON PLAN

- 1. ROUTE PANEL FEEDERS FROM MDP TO 2ND FLOOR PANELS THROUGH TUNNEL FEEDERS SHALL USE EXISTING CHASE ON 1ST FLOOR TO ROUTE CONDUITS.



1 CRAWL SPACE ELECTRICAL PLAN
E200.1 1/16" = 1'-0"



GENERAL NOTES

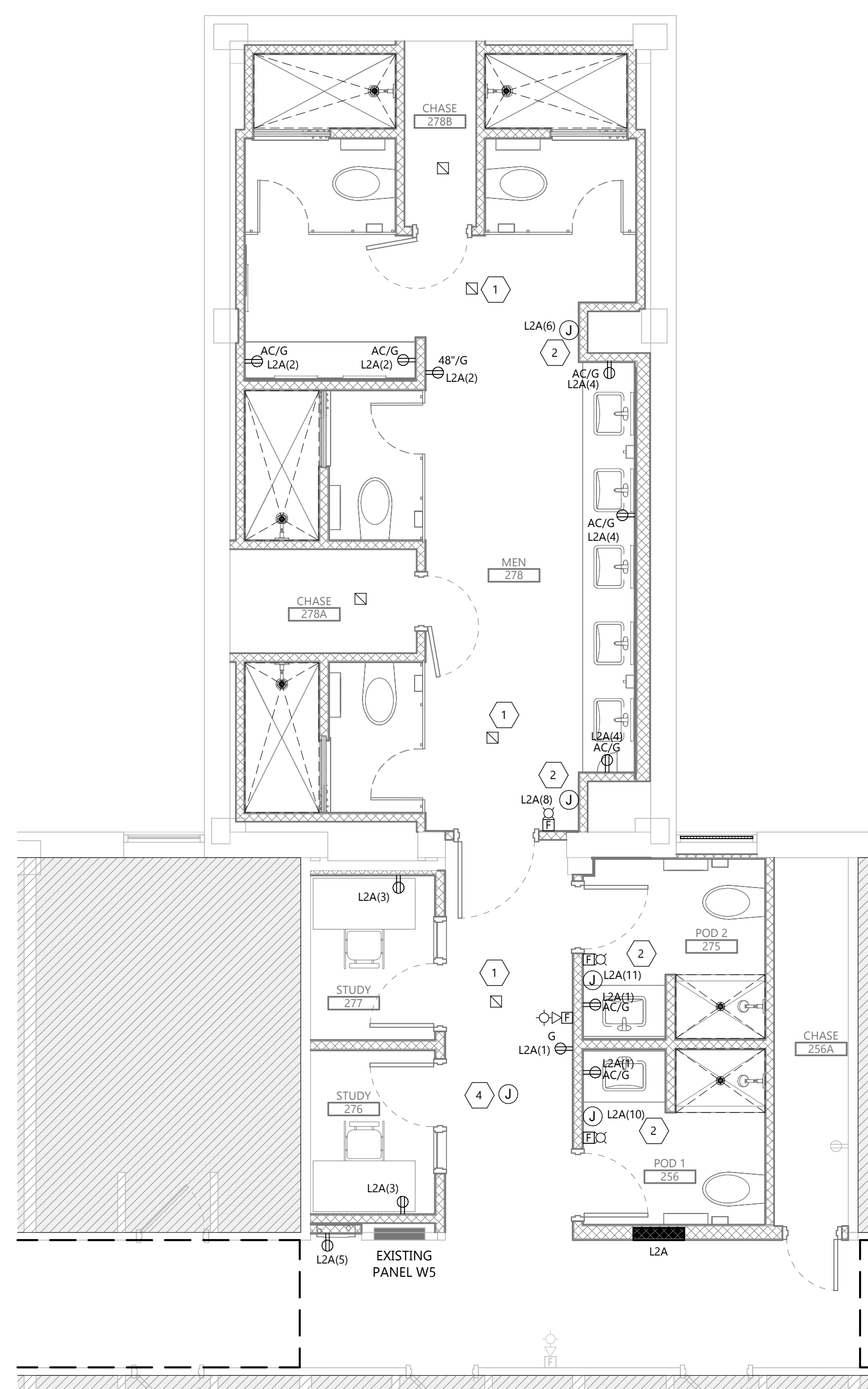
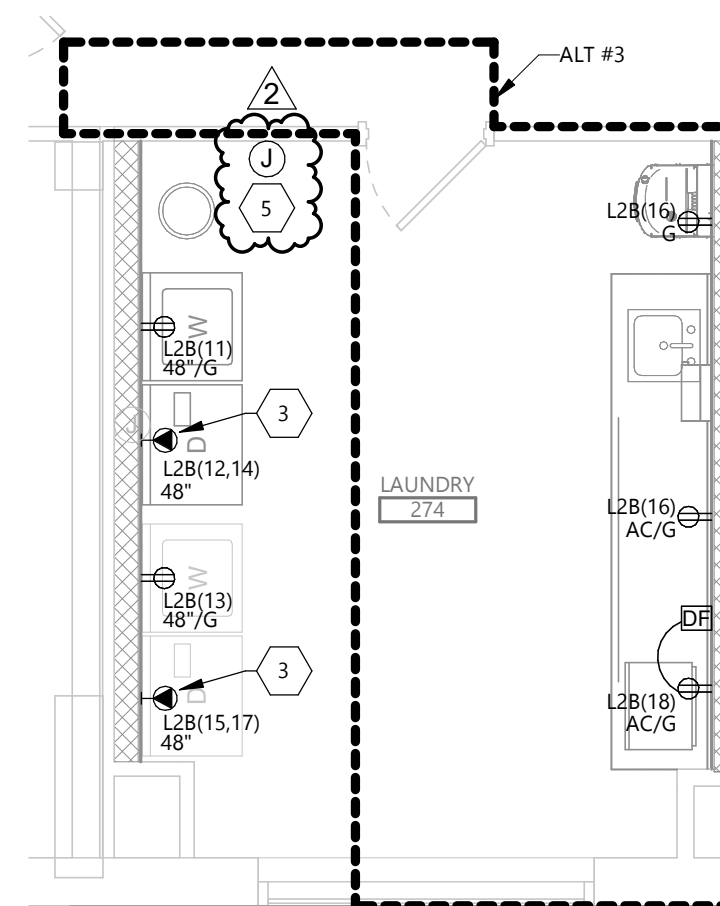
- A. RECONNECT ANY LIGHTING OR POWER CIRCUIT INADVERTENTLY DISCONNECTED BY DEMOLITION.
- B. LABEL ALL JUNCTION BOXES ABOVE ACCESSIBLE CEILING WITH INDELIBLE INK TO INDICATE PANEL AND CIRCUIT.
- C. LABEL ALL HOMERUNS WITH INDELIBLE INK TO INDICATE PANEL AND CIRCUIT.
- D. PROVIDE 4" HILTI PASS-THRU FOR CABLE PASSING THROUGH FIRE WALLS AND FLOORS.
- E. LABEL ALL DEVICES, INCLUDING SWITCHES, TO INDICATE PANEL AND CIRCUIT. USE ADHESIVE MYLAR TYPE.
- F. AFTER DEMOLITION, EC SHALL DETERMINE THE NUMBER OF CIRCUITS AVAILABLE AND CONSULT WITH ENGINEER TO REVISE CIRCUITRY AS REQUIRED.
- G. PROVIDE #10 CONDUCTORS THROUGHOUT ALL 120V, 20A BRANCH CIRCUITS OF 100'-0" OR GREATER IN LENGTH.
- H. PROVIDE ALL DEVICES AND ASSOCIATED WIRING AS SHOWN.
- I. ALL 120V, 20A RECEPTACLES IN PUBLIC SPACES SHALL BE TAMPER RESISTANT.

KEYNOTE LEGEND:

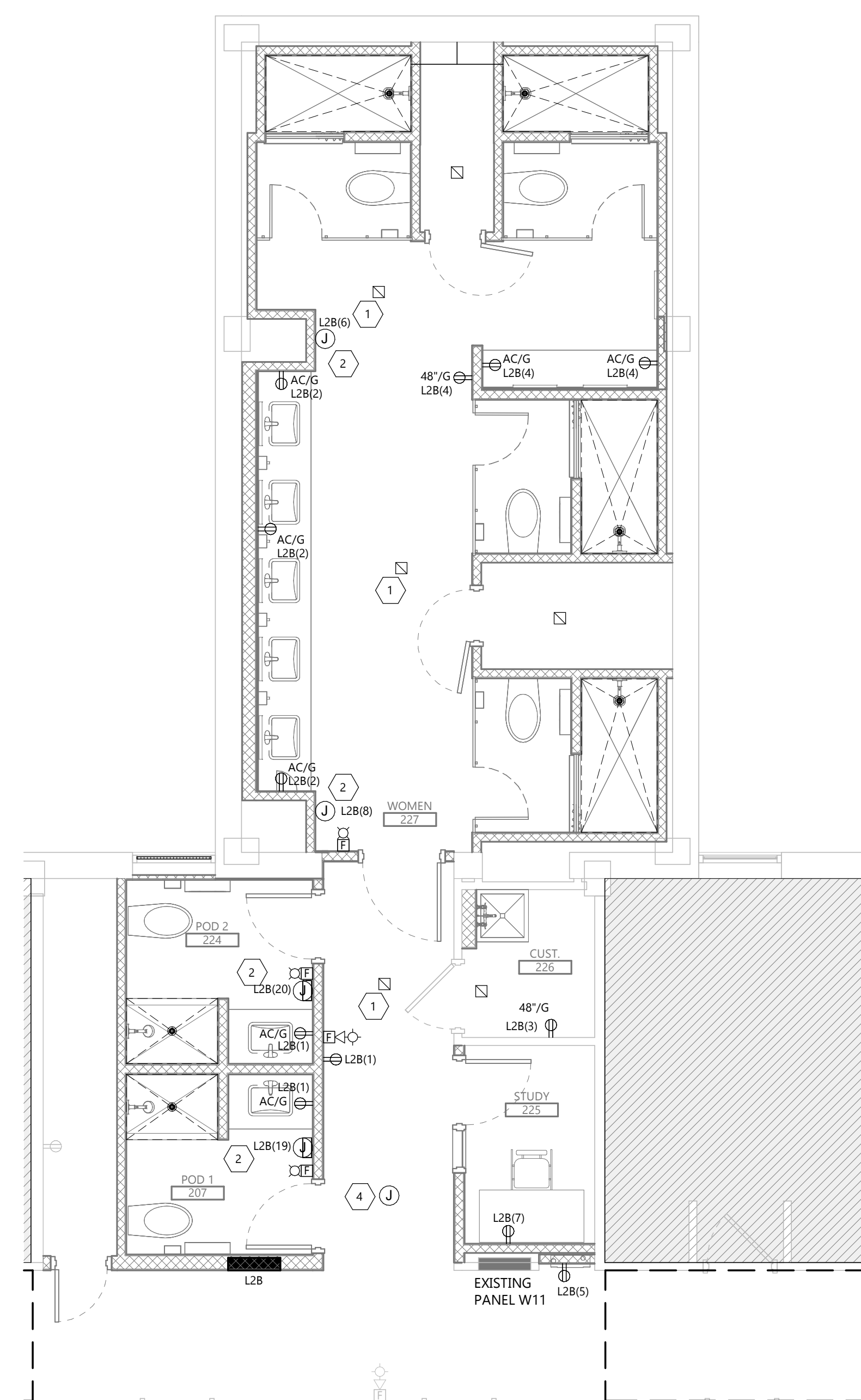
- <<< INDICATES KEYNOTE ON PLAN
- 1. INSTALL EXISTING HEAT DETECTOR WITH EXISTING CABLING. EXTEND CIRCUITRY AS REQUIRED.
- 2. CONNECT HAND DRYER WITH 2 #12 + #12G IN 3/4" C.
- 3. PROVIDE A NEMA 14-30 RECEPTACLE. CONNECT WITH 3#10 + #10G IN 3/4" C.
- 4. PROVIDE A JUNCTION BOX IN CEILING FOR INSTALLATION OF FUTURE WIRELESS ACCESS POINT BY OWNER. STUB 3/4" CONDUIT FROM JUNCTION BOX TO ACCESSIBLE CEILING.
- 5. RECONNECT RELOCATED JUNCTION BOX. PROVIDE NEW SURFACE RACEWAY AT LOCATION AND CONNECT WITH NEW DATA DROP.

3 SECOND FLOOR LAUNDRY PLAN (ALT #3)

E202 1/4" = 1'-0"



2 SECOND FLOOR POWER & SYSTEMS PLAN- MENS
E202 1/4" = 1'-0"



1 SECOND FLOOR POWER & SYSTEMS PLAN - WOMENS
E202 1/4" = 1'-0"

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CITY **BROOKINGS**
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ISSUE DATES

MARK	DESCRIPTION	DATE
2	ADDENDUM 2	03/31/2025
1	ADDENDUM 1	03/21/2025
CD	100% CONSTRUCTION DOCUMENTS	03/13/2025

PROJECT NO: **20246780**
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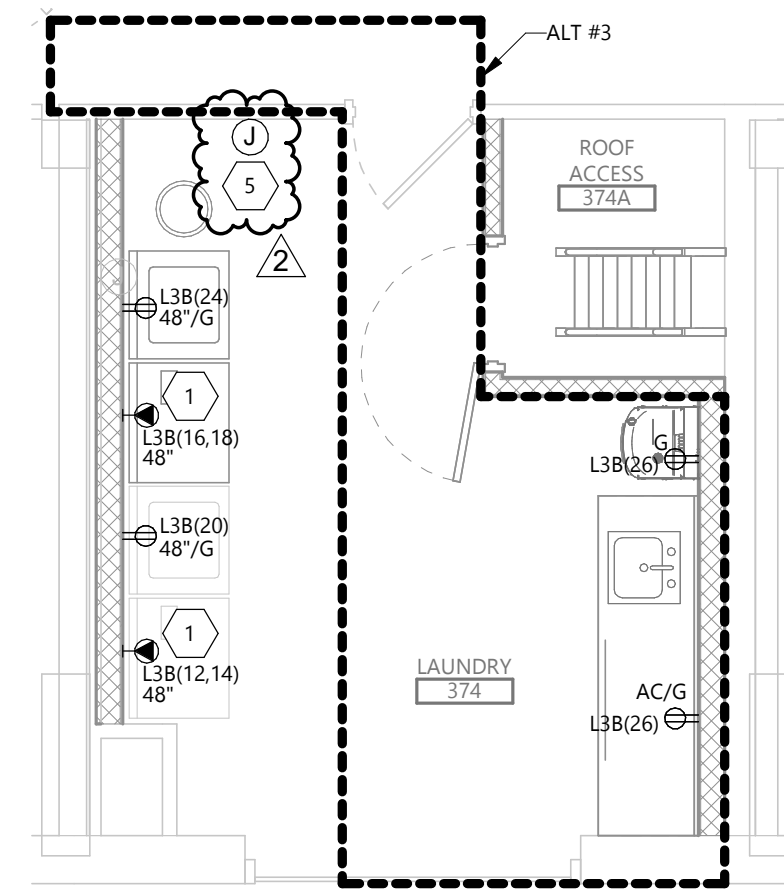
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DRAWING TITLE
SECOND FLOOR POWER & SYSTEMS PLAN

E202




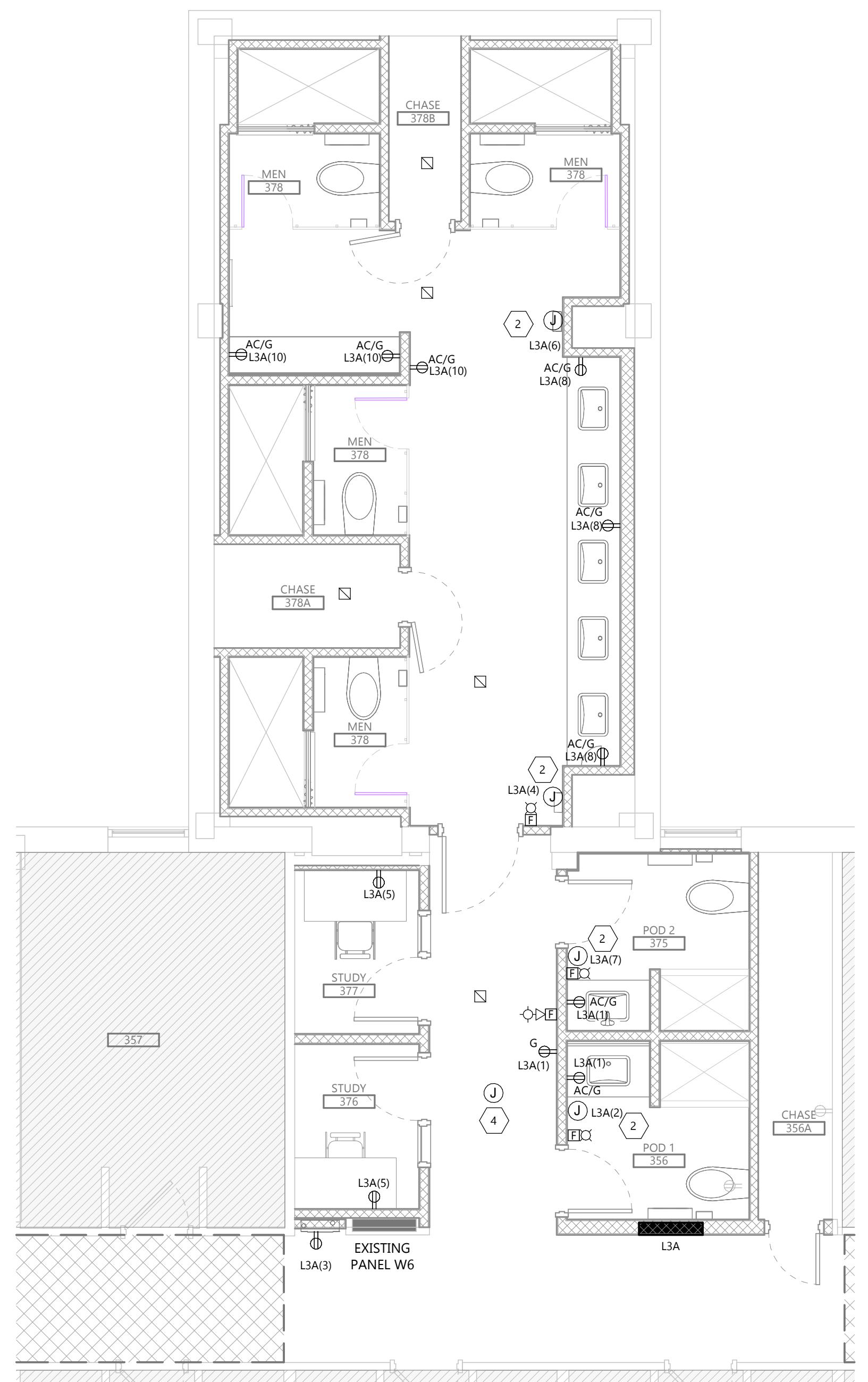
3 THIRD FLOOR LAUNDRY POWER PLAN (ALT #3) 
E203 1/4" = 1'-0"

GENERAL NOTES

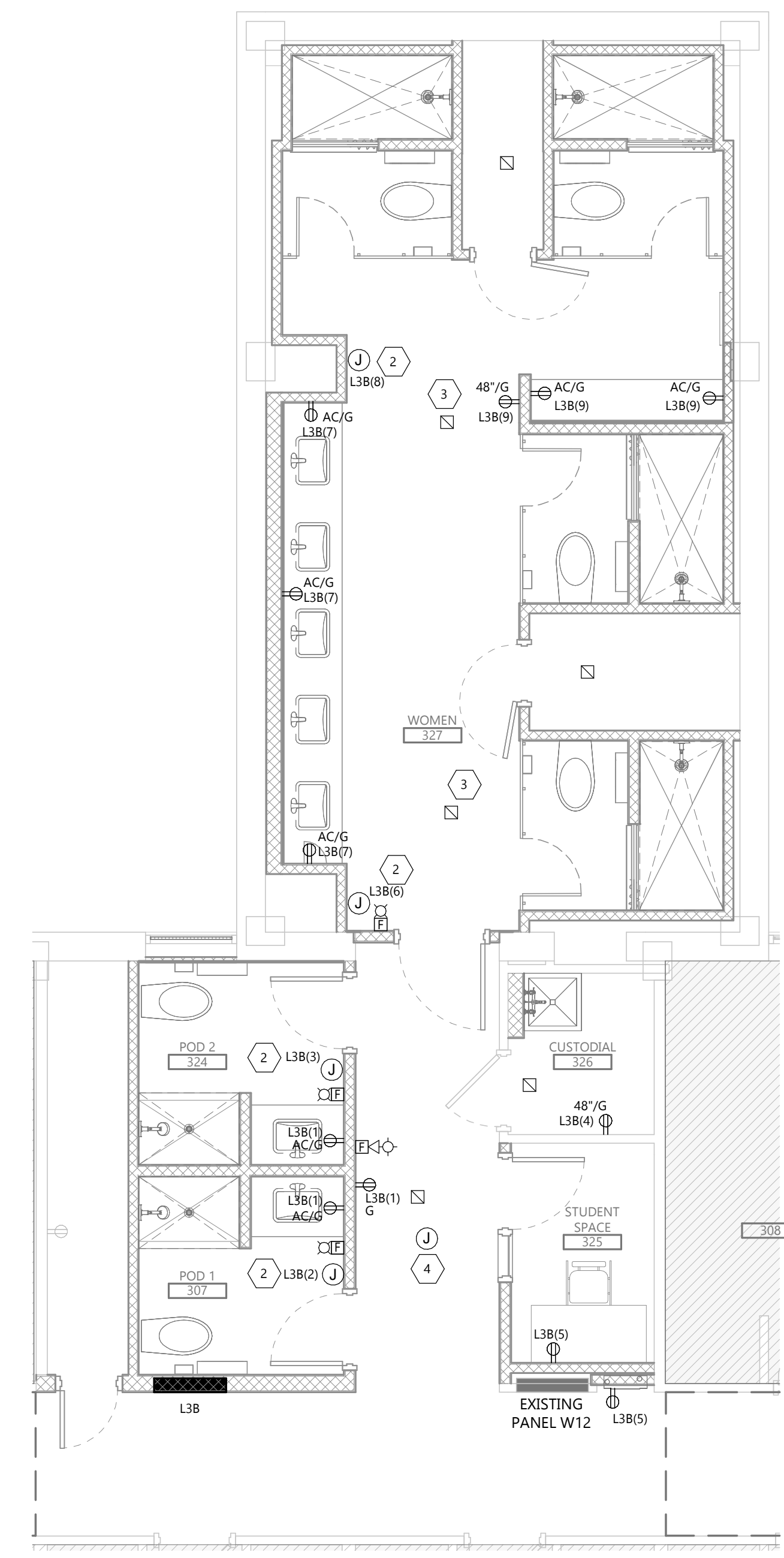
- A. RECONNECT ANY LIGHTING OR POWER CIRCUIT INADVERTENTLY DISCONNECTED BY DEMOLITION.
- B. LABEL ALL JUNCTION BOXES ABOVE ACCESSIBLE CEILING WITH INDELIBLE INK TO INDICATE PANEL AND CIRCUIT.
- C. LABEL ALL HOMERUNS WITH INDELIBLE INK TO INDICATE PANEL AND CIRCUIT.
- D. PROVIDE 4" HILTI PASS-THRU FOR CABLE PASSING THROUGH FIRE WALLS AND FLOORS.
- E. LABEL ALL DEVICES, INCLUDING SWITCHES, TO INDICATE PANEL AND CIRCUIT. USE ADHESIVE MYLAR TYPE.
- F. AFTER DEMOLITION, EC SHALL DETERMINE THE NUMBER OF CIRCUITS AVAILABLE AND CONSULT WITH ENGINEER TO REVISE CIRCUITRY AS REQUIRED.
- G. PROVIDE #10 CONDUCTORS THROUGHOUT ALL 120V, 20A BRANCH CIRCUITS OF 100'-0" OR GREATER IN LENGTH.
- H. PROVIDE ALL DEVICES AND ASSOCIATED WIRING AS SHOWN.
- I. ALL 120V, 20A RECEPTACLES IN PUBLIC SPACES SHALL BE TAMPER RESISTANT.

KEYNOTE LEGEND:

-  <<< INDICATES KEYNOTE ON PLAN
- 1. PROVIDE A NEMA 14-30 RECEPTACLE. CONNECT WITH 3#10'S AND +10G IN 1" CONDUIT.
- 2. PROVIDE 120V CONNECTION FOR ELECTRIC HAND DRYER. CONNECT WITH 2#12 + 12G IN 3/4" CONDUIT.
- 3. INSTALL EXISTING HEAT DETECTOR WITH EXISTING CABLING. EXTEND CIRCUITRY AS REQUIRED.
- 4. PROVIDE A JUNCTION BOX IN CEILING FOR INSTALLATION OF FUTURE WIRELESS ACCESS POINT BY OWNER. STUB 3/4" CONDUIT FROM JUNCTION BOX TO ACCESSIBLE CEILING.
- 5. RECONNECT RELOCATED JUNCTION BOX. PROVIDE NEW SURFACE RACEWAY AT LOCATION AND CONNECT WITH NEW DATA DROP.



2 THIRD FLOOR POWER & SYSTEMS PLAN - MENS 
E203 1/4" = 1'-0"



1 THIRD FLOOR POWER & SYSTEMS PLAN - WOMENS 
E203 1/4" = 1'-0"



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PROJECT DESCRIPTION
SWN 0509, WANETA HALL RENOVATE RESTROOM (OSE# R0325--15X)

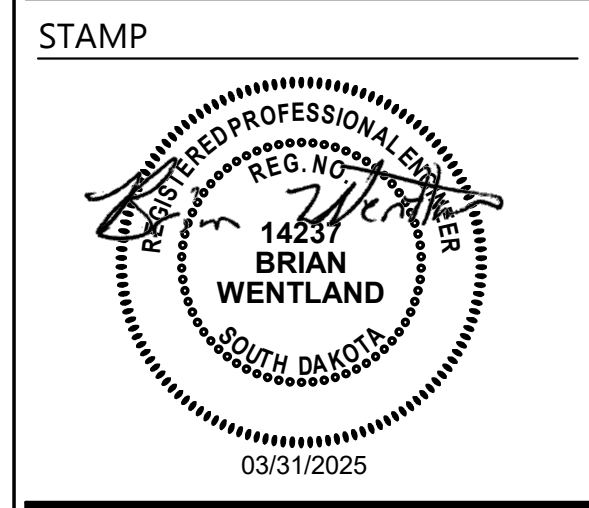
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DRAWING TITLE
THIRD FLOOR POWER & SYSTEMS PLAN

E203

KEYNOTE LEGEND:

- <<< INDICATES KEYNOTE ON PLAN
- 1. REINSTALL EXISTING EXIST SIGN, CONNECT TO LIGHTING CIRCUIT IN ROOM.
- 2. EXISTING CEILING MOUNTED DEVICES SHALL BE EXTENDED AND MOUNTED AT LOWER CEILING HEIGHT.



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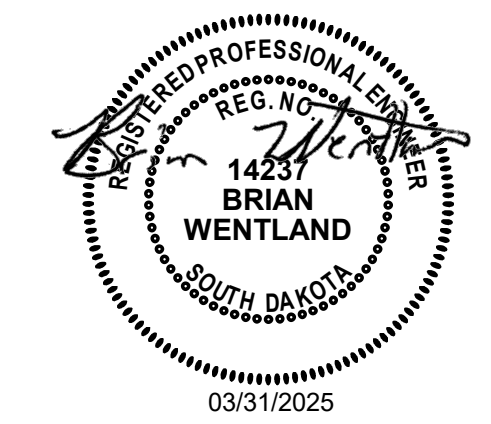
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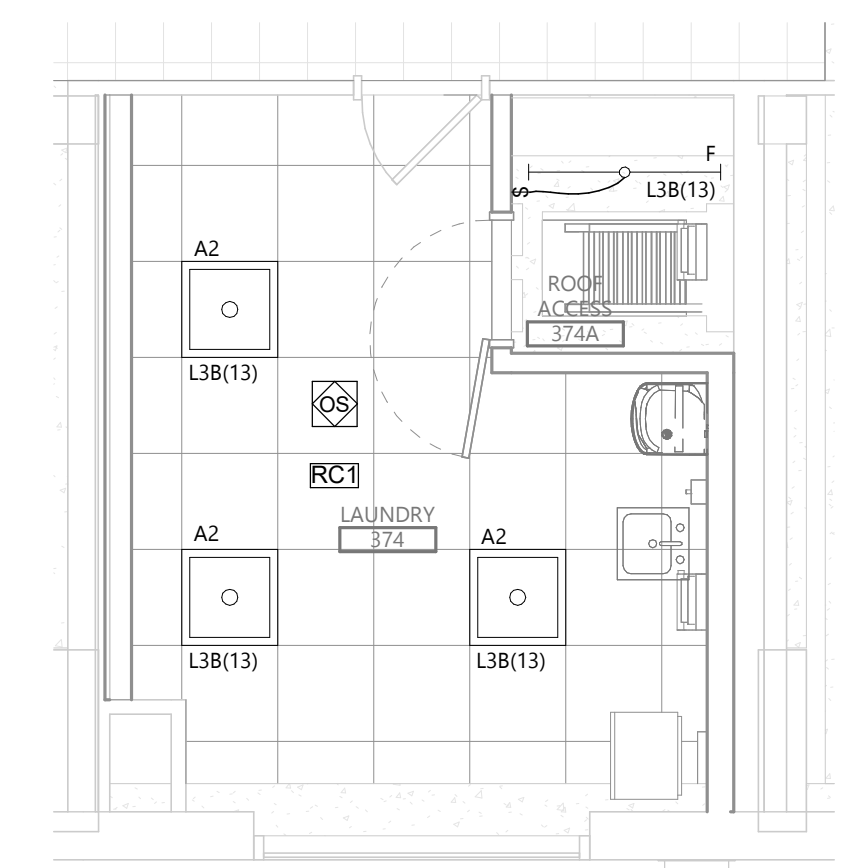
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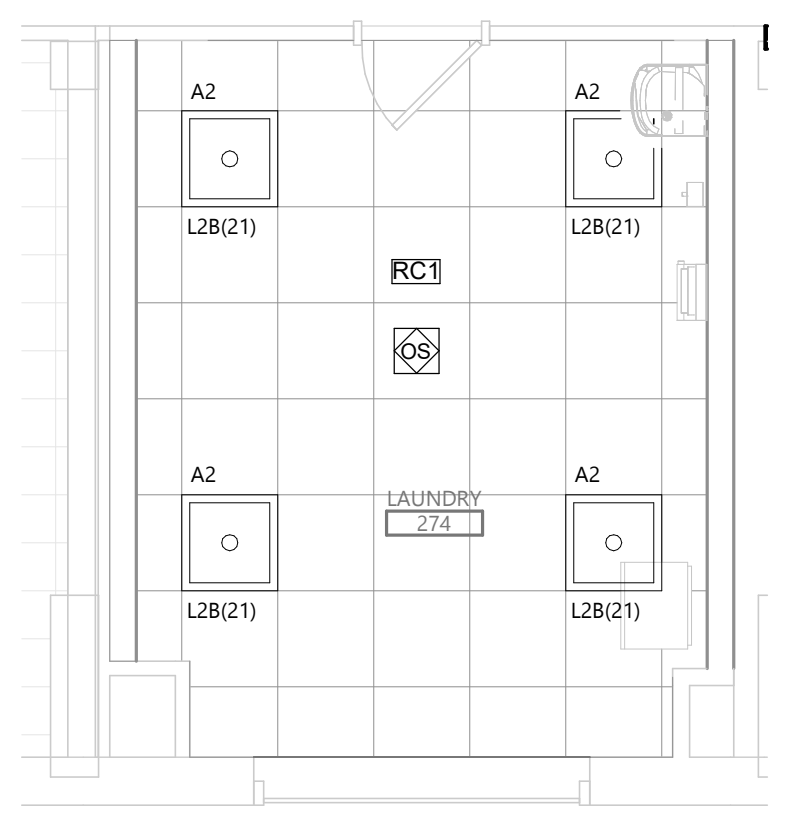


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LIGHTING PLAN - ADD ALTERNATIVES

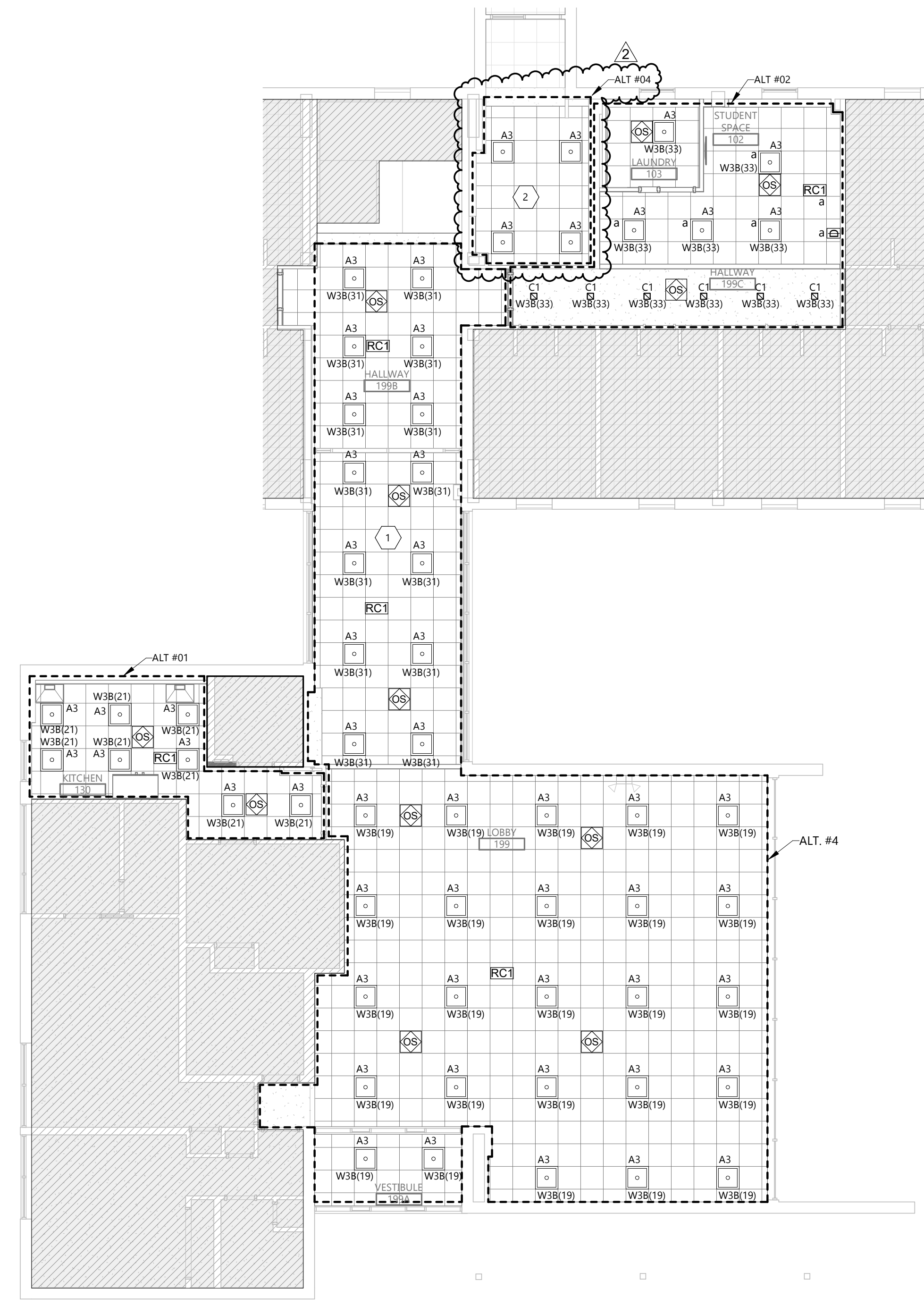
E304



3 THIRD FLOOR LAUNDRY LIGHTING PLAN (ALT #3)
E304 1/4" = 1'-0" N



2 SECOND FLOOR LAUNDRY LIGHTING PLAN (ALT #3)
E304 1/4" = 1'-0" N

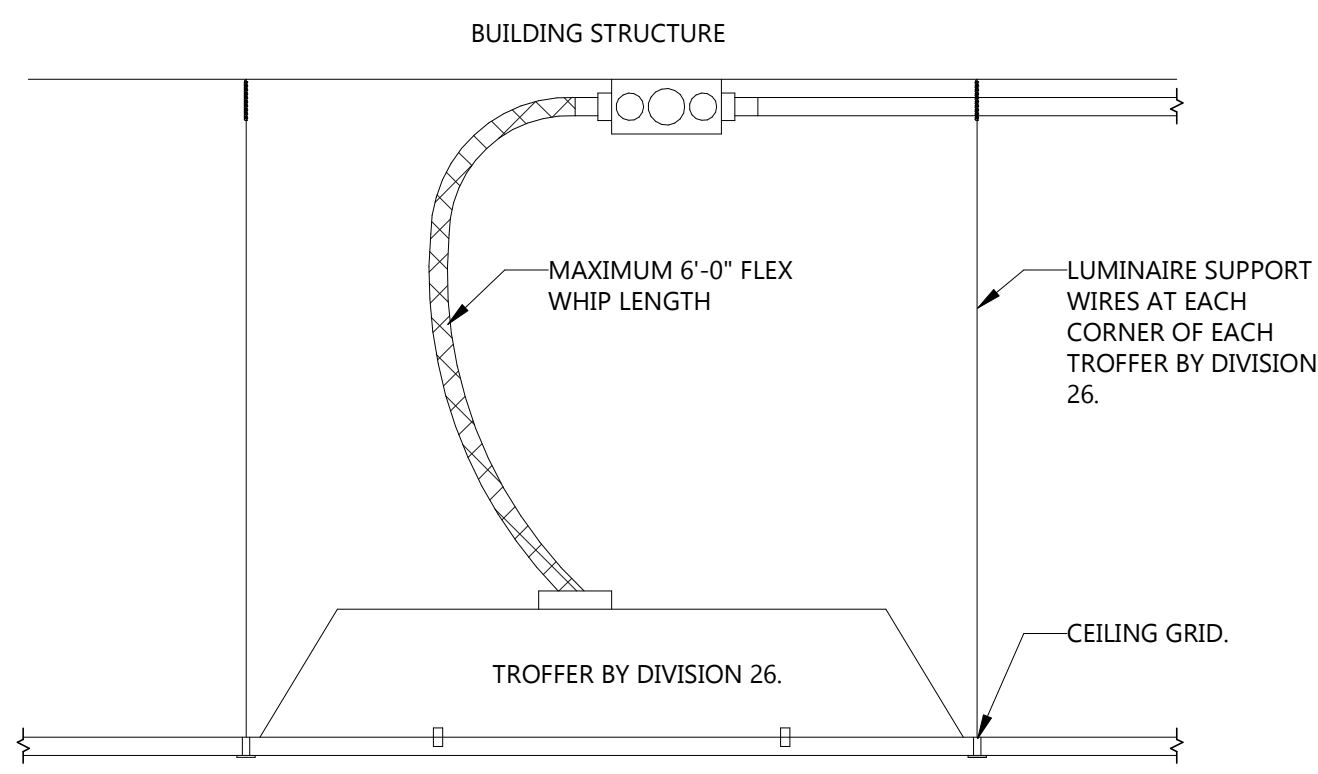


1 FIRST FLOOR LOBBY / STUDENT SPACE LIGHTING PLAN
E304 1/8" = 1'-0" N

LIGHTING CONTROL SCHEDULE													
SYMBOL	MANUFACTURER	CATALOG NAME	MOUNTING			VOLTAGE		TYPE			NOTES	DESCRIPTION	
			WALL	CLING	ABV. CLG	LINE	LOW	OCCUPANCY	VACANCY	OTHER			
RC#	NLIGHT	NPP16 D			X	X					X	1	DIGITAL DIMMER ROOM CONTROLLER, # INDICATES NUMBER OF RELAYS (CAT6)
⊕ _{LV}	SENSOR SWITCH	SPODM D	X				X				X	2	0-10V SWITCH, 2 BUTTON OPTION, NUMBER OF POLE OR MULTI-WAY SWITCHING TO BE DETERMINED BY MANUFACTURER.
⊕ _{LV}	SENSOR SWITCH	SPODM	X				X				X	2	LOW VOLTAGE SWITCH, 2 BUTTON OPTION, NUMBER OF POLE OR MULTI-WAY SWITCHING TO BE DETERMINED BY MANUFACTURER.
◇	SENSOR SWITCH	CM PDT 9/10 R D		X			X	X				5	CEILING MOUNTED SENSOR, DUAL TECHNOLOGY, SMALL OR LARGE MOTION TO BE DETERMINED BY MANUFACTURER, LOW VOLTAGE RELAY, DIMMING OPTION
◇	SENSOR SWITCH	WSX PDT D	X				X		X				WALL MOUNTED DUAL TECHNOLOGY OCCUPANCY SENSOR WITH INTEGRAL 0-10V DIMMING WITH ON/OFF BUTTON
◇	SENSOR SWITCH	WSX PDT	X				X		X				WALL MOUNTED DUAL TECHNOLOGY OCCUPANCY SENSOR WITH ON/OFF SWITCH
S	NLIGHT	NPODMA	X					X					SWITCH SHALL BE MINIMUM TWO BUTTON FOR ON AND OFF UNLESS NOTED OTHERWISE ON THE DRAWINGS. CAT6 CONNECTION BETWEEN DEVICE AND POWER PACK.
⊕	NLIGHT	NPODMA DX	X					X					DIMMER SWITCH SHALL BE MINIMUM ON/OFF BUTTON WITH SEPARATE BUTTONS FOR DIMMING UP AND DIMMING DOWN UNLESS NOTED OTHERWISE ON DRAWINGS. CAT 6 CONNECTION BETWEEN DEVICE AND POWER PACK
◇	NLIGHT	NCM PDT		X			X	X					CEILING MOUNTED DIGITAL DUAL TECHNOLOGY OCCUPANCY SENSOR (CAT6)
PP	SENSOR SWITCH	PP 20											NON-DIMMING POWER PACK
⊕	LUTRON OR EQUAL	20A TOGGLE SWITCH	X									3	120/277V 20A TOGGLE SWITCH. MULTI-WAY SWITCHING TO BE DETERMINED BY THE ELECTRICAL CONTRACTOR FOR SPACE REQUIREMENTS.

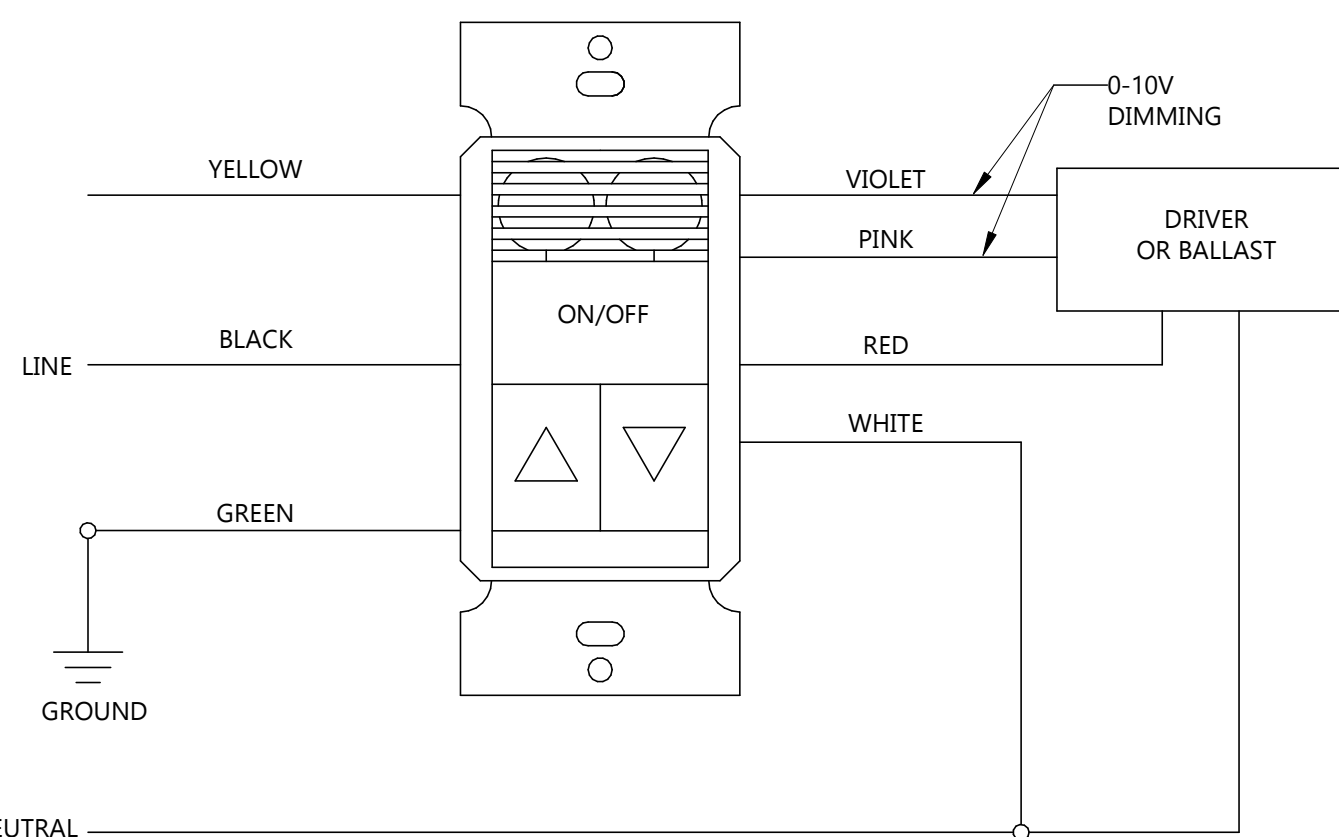
GENERAL NOTES:
A. ALL SENSORS ARE SHOWN FOR CONTROL PURPOSE ONLY; ADDITIONAL DEVICE/POWER MAY BE REQUIRED FOR A COMPLEX SYSTEM. VERIFY REQUIRED DEVICES WITH SYSTEM PROVIDER AND INSTALL COMPLETE SYSTEM.
B. WIRE LIGHTING CONTROL COMPONENTS PER MANUFACTURERS INSTRUCTIONS.
C. APPROVED MANUFACTURERS: WATTSTOPPER, CRESTRON, ACUITY BRANDS.
D. SEE SPECIFICATION SECTION 262726 OR ON DRAWINGS SPECIFICATIONS FOR FACEPLATE AND DEVICE COLOR.

NOTES:
1. NUMBER REPRESENTS QUANTITY OF RELAYS PER DEVICE. SEE LIGHTING SHEETS FOR NUMBER OF RELAYS AND CONTROL ZONES. MULTI-RELAY ROOM CONTROLLERS MAY BE USED IN LIEU OF SINGLE RELAY ROOM CONTROLLERS.
2. SEE SWITCH DETAILS FOR MORE INFORMATION ON SPECIFIC TIMECLOCK SWITCHES/DIMMERS BUTTON LAYOUT AND ENGRAVING.
3. FOR USE AT BACK OF HOUSE, UNFINISHED SPACES, AND 120V 20A MOTOR DISCONNECTS SHALL BE STANDARD TOGGLE SWITCHES. SEE SPECIFICATION SECTION 262726 OR ON DRAWINGS SPECIFICATION FOR ADDITIONAL INFORMATION.
4. A LINE VOLTAGE DIMMER SHALL ONLY BE USED IN RESIDENTIAL INSTALLATIONS OR WHERE THE LUMINAIRE SUPPORTS ONLY LINE VOLTAGE DIMMING.
5. MANUFACTURER SHALL DETERMINE IF SENSOR SHALL COME WITH INTEGRAL PHOTOCELL IN LIEU OF STAND ALONG DEVICE AS NEEDED FOR DEVICE.



- NOTE:
1. DO NOT LOOP FLEX WHIPS FIXTURE-TO- FIXTURE. PROVIDE JUNCTION BOX AS SHOWN.
2. FLEX WHIP SHALL NOT REST ON CEILING GRID. PROVIDE ADDITIONAL SUPPORTS AS NEEDED.

2 TROFFER INSTALLATION DETAIL
E802 NOT TO SCALE



NOTE: REQUIRES CLASS 1 WIRING FOR 0-10V DIMMING

1 DUAL TECH SENSOR SWITCH OD WIRING DETAIL
E802 NOT TO SCALE

LUMINAIRE SCHEDULE												
TYPE	MANUFACTURER	CATALOG NUMBER	LAMP	MOUNTING	LOCATION	VOLTAGE	CCT	LUMENS	WATTS	NOTES	DESCRIPTION	
A2	LITHONIA	CPX-2X2-3200LM-80CRI-40K-SWL-MIN1-ZT-MVOLT	LED	RECESSED	CEILING	MVOLT	4000	3200	30		2X2 LED	
A3	LITHONIA	CPX-2X2-2000LM-80CRI-40K-SWL-MIN1-ZT-MVOLT	LED	RECESSED	CEILING	MVOLT	4000	2000	16		2X2 LED	
B1	FOCAL POINT	FSM2L-FL-250LF-40K-UNV-LD1-G1-16'	LED	RECESSED	CEILING	MVOLT	4000	250LM/FT	3W/FT		16' LINEAR LED	
B2	FOCAL POINT	FSM2L-FL-250LF-40K-UNV-LD1-G1-6'	LED	RECESSED	CEILING	MVOLT	4000	250LM/FT	3W/FT		6' LINEAR LED	
C1	SATCO	S11831	LED	RECESSED	CEILING	120	4000	1750	24		CANLESS 8" SQUARE LED DOWNLIGHT	
D1	LITHONIA	TWR1-LED-SWW2-UVOLT-PE-DBBTD	LED	WALL	WALL	MVOLT	4000	2300	16		SURFACE MOUNT LED	
E1	LITHONIA	LQM-S-W-3-R-120/277-M6	LED	SURFACE	CEILING	120	--	--	5		EXIT SIGN W/ 90-MIN BATTERY BACKUP	
EM	DUEL LITE	EV4R	LED	SURFACE	CEILING	120	--	--	5		CEILING MOUNT EMERGENCY FIXTURE W/ 90-MIN BATTERY BACKUP	
F	LITHONIA	ZL 1D	LED	SUSPENDED	CEILING	120	4000	4000	30		CHAIN SUSPENDED STRIP LIGHT WITH ROUND DIFFUSED LENS	
V1	BROWNLEE / LITHONIA	TRACE/FMCSLS	LED	SURFACE	WALL	120	4000		16		2' WALL MOUNTED VANITY FIXTURE. FINISH TO BE SELECTED BY ARCH.	

NOTES:
1.

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